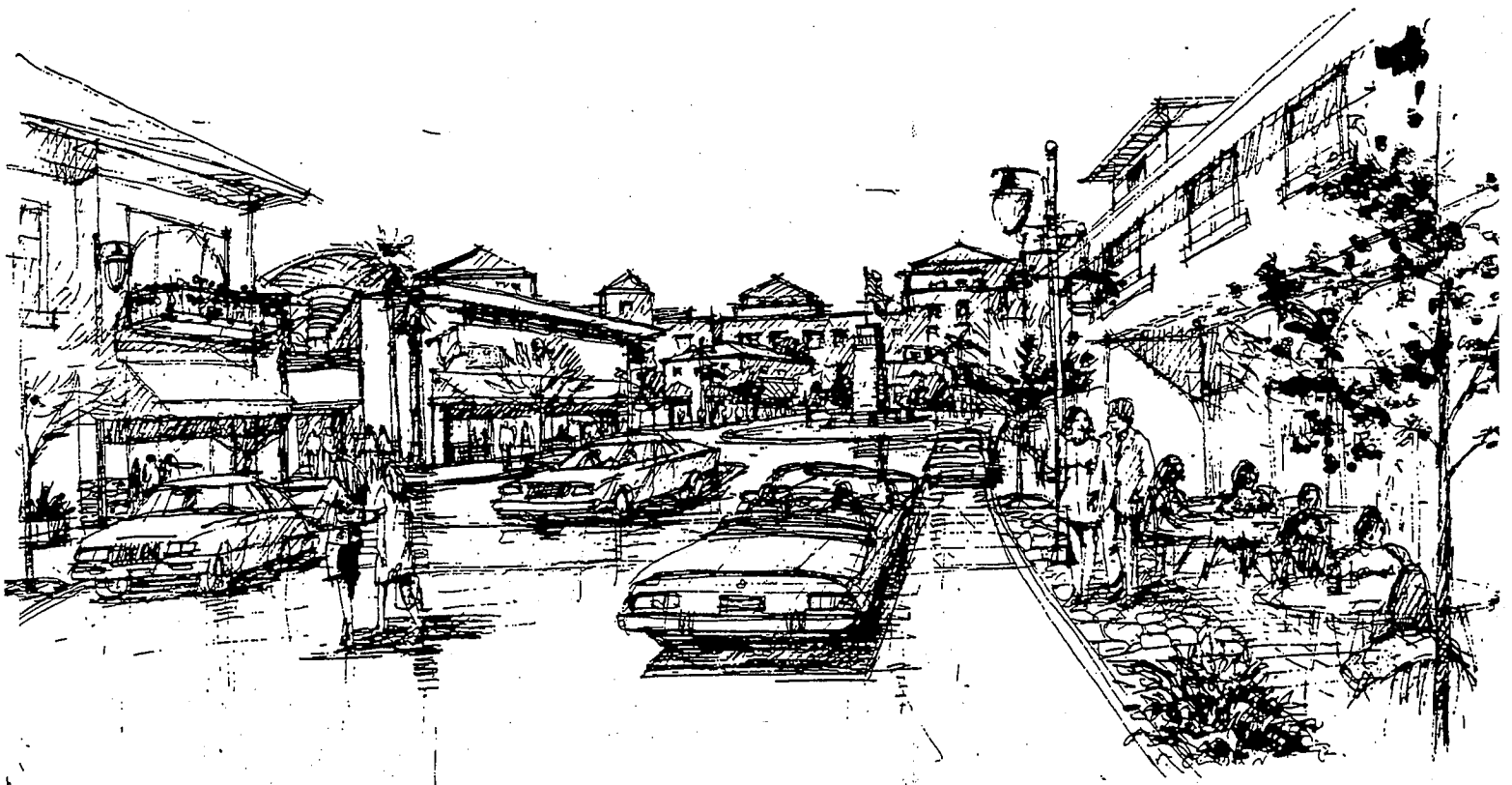


- 1.0 *The Specific Plan as Planning Tool*
- 2.0 *Community Context & Integration*
- 3.0 *Land Use Master Plan*
- 4.0 *Transportation & Circulation*
- 5.0 *Master Landscape Plan*

- 6.0 **Community Design & Land Use**

- 7.0 *Parking Regulations*
- 8.0 *Sign Regulations*
- 9.0 *Community Lighting Regulations*
- 10.0 *Infrastructure & Public Utilities*
- 11.0 *Design Review*
- 12.0 *Implementation*



6.0 COMMUNITY DESIGN & LAND USE STANDARDS

The criteria described in the following paragraphs and exhibits will guide development within Porta Bella. These criteria are intended to ensure a high quality of development within the community, without discouraging individually innovative or imaginative development.

It is recommended that as a part of reviewing the subsequent development applications, the following criteria be evaluated to ensure the ideas which are put forth within the Porta Bella Specific Plan are also included in these subsequent developments.

- The proposed subdivision or commercial development will contribute to the overall objective of maintaining and/or enhancing the community as a socially interactive entity.
- The proposed subdivision or commercial development will interact in a pedestrian manner to its adjacent areas; existing and proposed.
- The proposed subdivision or commercial development will interact and contribute to the Open Space/Parkland system of the community.
- The proposed subdivision or commercial development will provide an interactive and convenient mobility system providing equal access for vehicular and non-vehicular traffic.
- The proposed subdivision or commercial development will create an effective and functional landscape design which contributes to the environmental unity of the entire community.
- The proposed development will utilize and/or allow energy and resource saving techniques, such as natural drainage, permeable surfaces or landscape for climate control.

6.1 Process and Procedure

In any case where the processes or procedures for an interpretation or implementation question are not spelled out or are not agreed to, the order of seeking direction is: Community Development Director, Planning Commission, then City Council. Any process of procedural determination may be appealed in the same order.

Whenever the regulations contained herein conflict with the City of Santa Clarita Zoning Ordinance, the regulations contained herein shall take precedence. In the absence of specific provisions within this code, the requirements of the City's Zoning Ordinance will prevail. Refer to Section 10.0 for further detail regarding Design Review.

6.2 Design Guidelines

The intent of this section is to establish a set of guidelines and an architectural vocabulary which will insure that the built form of Porta Bella will be experienced as a unified whole while encouraging creativity within the individual buildings. It is not intended to dictate a specific architectural style. Also, it should not be a substitute for the design process of the individual architects who will ultimately create the buildings in Porta Bella.

The architectural character of the community may be loosely defined as "New Heritage." Like the community form, this character takes the best elements from contemporary and traditional sources, and blends them in a distinctive manner. This character is inspired by a number of distinct architectural styles such as Monterey, Mission, Italianate and traditional American architecture, including Prairie, Craftsman and California Bungalow. Many of these styles share a common relationship in that most were popular in the early days of California.

“High Contrast” architecture should be considered only if it can be found by the Planning Commission that its particular application would be a time enduring benefit to the community.

6.3 Commercial & Non-Residential Design Guidelines

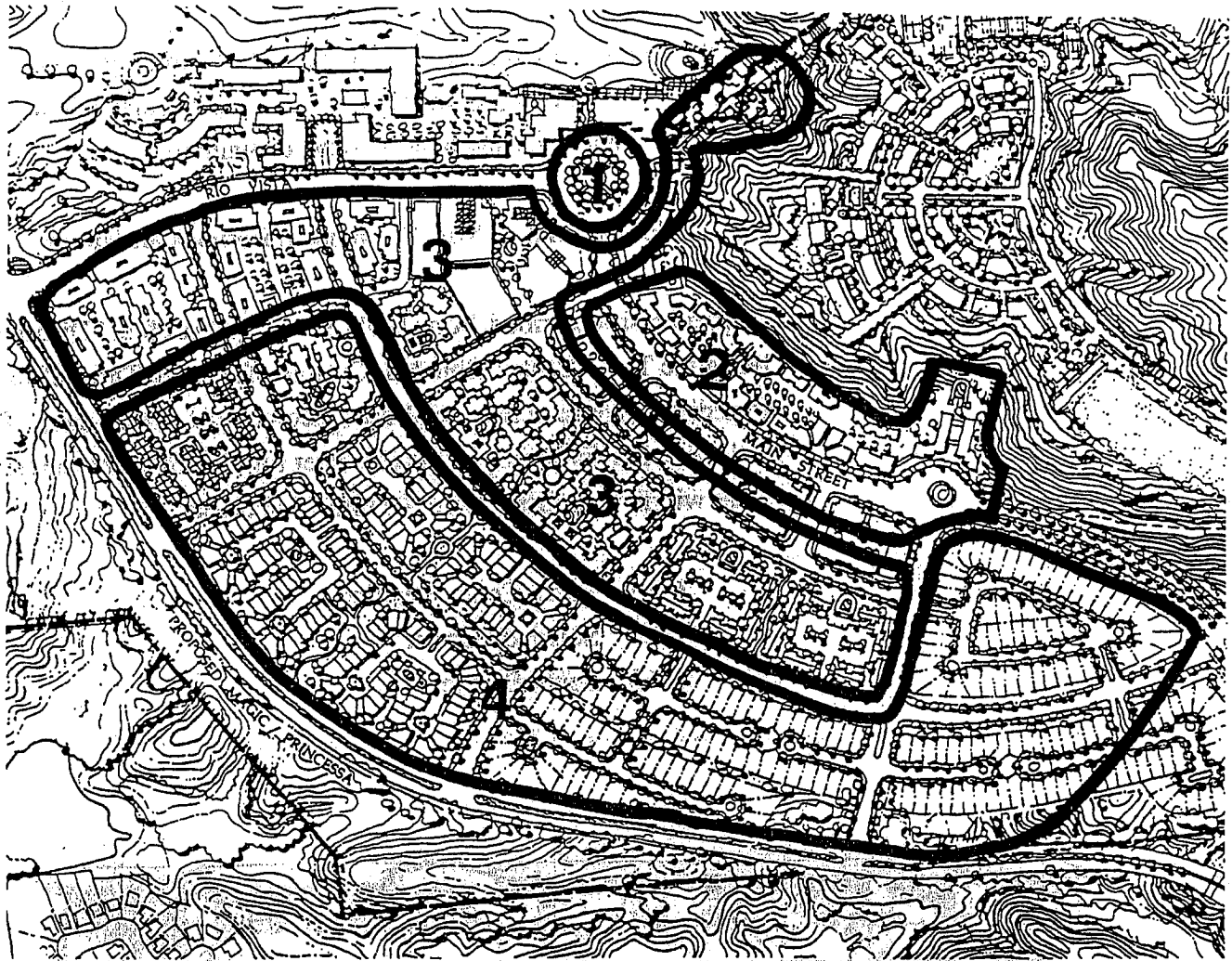
As previously described, Porta Bella is comprised of four “Districts,” being the Town Center, Soledad, Central and South. Three of these four districts have commercial uses incorporated within them. The following is a discussion of the character for each of the commercial areas within their districts, in the following order:

6.3.1 Town Center District

6.3.2 Soledad District

6.3.3 South District

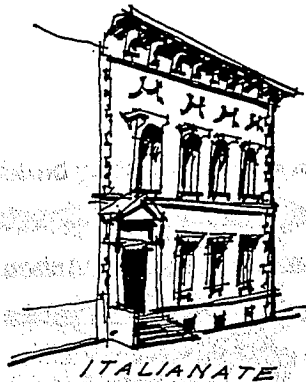




KEY

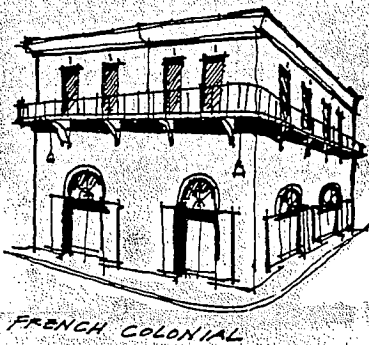
1. TOWN CENTER CIRCLE
2. "MAIN STREET"
3. PERIPHERAL AREAS
4. RESIDENTIAL AREAS

TOWN CENTER DISTRICT



6.3.1 Town Center District Commercial

The scale of structures within this area is intended to be of a finer grain than contemporary retail areas in an effort to promote an entertaining, pedestrian district. The Town Center area should exemplify the traditional hometown character of Porta Bella.

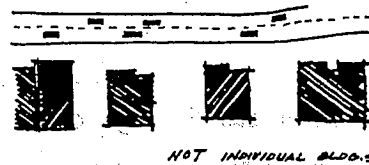
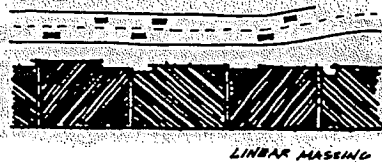


Commercial areas within the Town Center are best understood if broken down into several principal components; A. "Main Street", B. Peripheral Areas, and C. the Town Center Circle. The architecture should respond to the physical, programmatic, and image requirements within each individual component.

A. "Main Street"

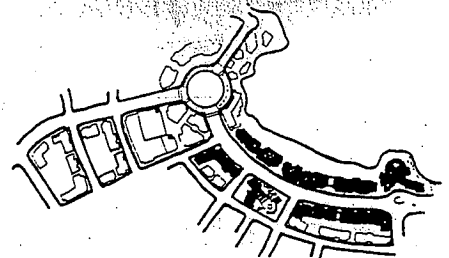
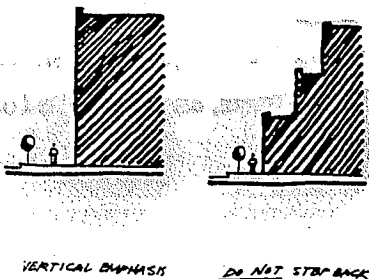
Historical Reference

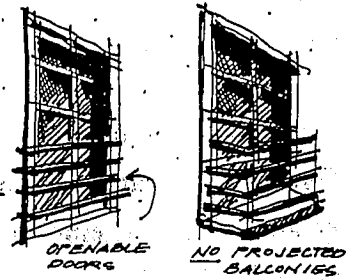
Examples of this type of project range from Pioneer Square in Seattle to the traffic circle in the City of Orange. Buildings in this context form the historical precedent of American urban architecture. Architecturally, these buildings have been built in styles ranging from Federal to Italianate to French Colonial, all having elements which are appropriate to this project.



Building Mass & Scale

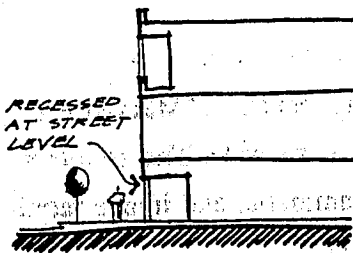
The plan should emphasize its linear relation to the street edge. The linear plan may be created by a single horizontal element or through a series of connected vertical elements. Building massing should be strongly vertical to frame the street. Buildings should not step back from street at upper floors.





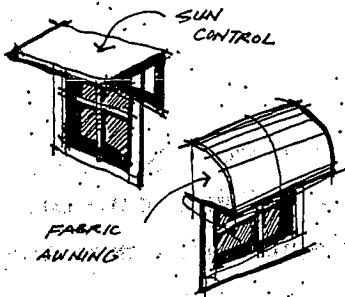
Balconies

Balconies are not encouraged at the street side of two-story buildings. They are acceptable at the street side on third floor spaces, but should be limited, to maintain building vertical massing. Balconies should be recessed rather than projecting. Doors protected by a railing at the wall surface may be used at either second or third floors.



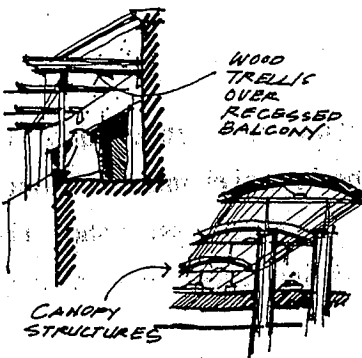
Colonnades

True colonnades are not appropriate along "Main Street" and are not recommended. Recesses at the street level that do not erode the street edge are acceptable.



Awnings/Canopies/Trellises

These devices are an integral part of this architectural vocabulary. These elements should be carefully integrated into the building design to avoid the appearance of being tacked-on or afterthoughts. These elements may occasionally span the width of the sidewalk at areas such as entrances to the buildings. Wood trellises should be in the "craftsman" tradition (i.e. Greene & Greene, Pasadena). Rough sawn, re-sawn, or heavy timber will not be allowed.



Signage

See signage Section 8.0 for general sign guidelines. Signage for street level tenants must be integrated into the basic building design. Ignoring this criteria will result in signage that appears tacked-on and detrimental to the quality of design. Signage should be viewed as a design opportunity as it is an integral part of the image of this street. No signage will be allowed for upper floor tenants, except painted or etched window signs.

Stairs

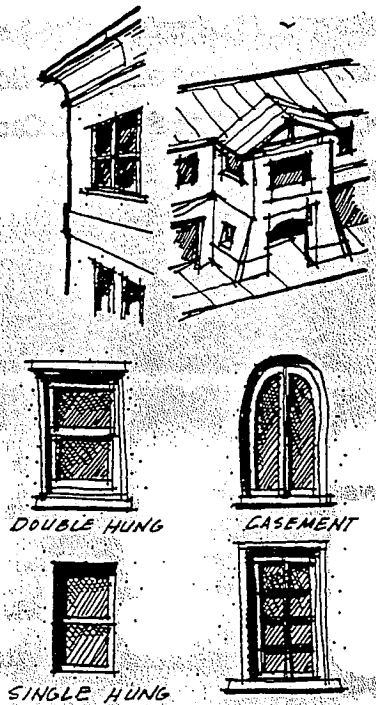
Stairs to all upper story uses will be internal to the building.

Roofs

Flat roofs with walls terminating at cornices or molding should be the principle form along this street. Other roof forms such as a flat pitched, hipped and gable roofs may be used as accents, or to terminate specific architectural elements.

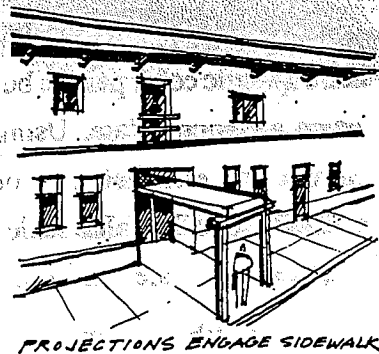
Windows

Use casement, single or double hung windows individually or grouped. Continuous bands of fenestration will not be allowed. Use lintels and sills as architectural accents. Recess windows from exterior wall plane to create shadow lines. Window frames and mullions should have a deep profile i.e. wood windows or clad windows. Residential grade aluminum windows will not be allowed.



Storefronts/Doors

Create a rhythm with the storefronts which will allow for flexibility in lease break-ups. Recess storefronts from wall plane to provide shadow lines. Use storefront material with a deep profile such as milled wood. Use materials which will add textures and accent to the building at non-glazed storefront bulkheads. The building entries to access upper floors should be easily identifiable and should not be confused with street level retail entries. The entry element may project into or span the sidewalk to engage the pedestrian.





RECESSED STOREFRONTS WITH RICH BULKHEAD MATERIALS

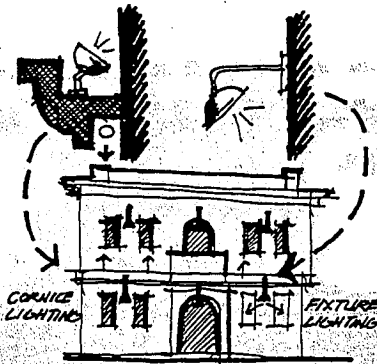
Materials

The building materials should project the image of substance and durability. Materials which are rich texturally should be used at the street level where the pedestrian is in closest contact with the building. The use of local materials is encouraged, such as Bouquet Canyon Stone. Appropriate Materials include but are not limited to:

- Stone/stone veneer
- Masonry - split-faced, polished
- Cement plaster
- Tile - glazed, quarry
- Concrete/pre-cast concrete
- Wood for trellises, accents
- Wood doors/storefronts/windows
- Asphalt roof shingles
- Flat concrete roof tile
- Copper roofs
- Metal roofs
- Fabric awnings - canvas, synthetic

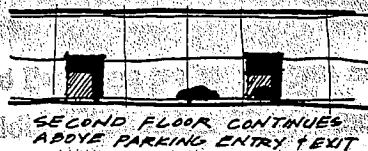
Colors

This guideline will not attempt to establish a specific color palette but rather determine the range of colors which are appropriate. Using building products made from local materials will establish a color range of their own. Muted colors (i.e. the darker end of the value scale) are appropriate - rust, ochre, forest green, grey, etc. Pale colors are appropriate - tan beige, off-white. Colors at the brighter end of the value scale are not appropriate except as accents in limited areas i.e. bright greens, yellows, purples, etc. Use of changes in materials as accents in lieu of painted accents is encouraged.



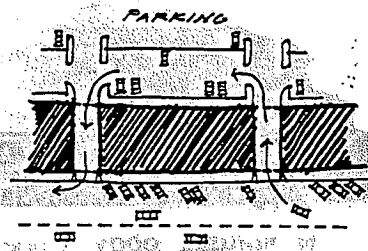
Building Lighting

Building facades should be lit to enhance activity and security at street level. Buildings should not rely entirely on spill-over from street lights or from storefronts for illumination. In general, the building lighting should be designed so that the light source is not visible or the exposed fixture is an integral part of the design. Building lighting should be directed to avoid glare or blinding of pedestrians or in upper level residence. The lighting of upper floors and architectural feature is encouraged.



Parking

Parking for buildings on "Main Street" will be 60° parking in the street, surface parking behind building and structured parking below buildings in some cases. Provide access to surface and structured off street parking from "Main Street," but minimize breaks in buildings for parking access. Where possible, maintain continuity of upper level at parking entry through building. If building is above surface parking screen parking from street and avoid placing building on pilotis. Provide natural light to parking areas where possible.



Loading

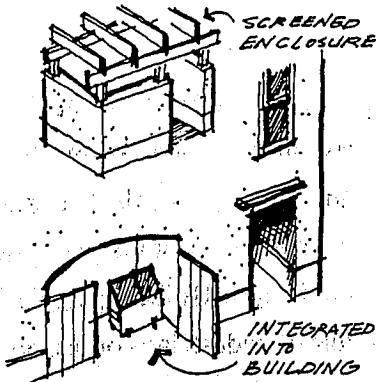
Provide accessibility for loading and deliveries from interior portion of site where possible. Limit amount of loading for the street.

Mechanical Equipment

Screen all equipment from visibility from street and adjacent buildings.

Antennas and Satellite Dishes

Screen dish antennas from visibility from street and adjacent buildings.



Gutters/Downspouts

Provide gutters at areas of pedestrian access such as building entrances. Downspouts and gutters shall be hidden unless they are an integral part of the architectural design.

Skylights

Do not use skylights on sloping roofs visible from the street. Use of skylights is encouraged to provide upper floor tenants a maximum of natural light.

Trash Enclosures

Trash receptacles should not be visible from the street and shall be located in enclosure or integrated into building. If enclosure is visible from above, provide screening over the top that is architecturally compatible with the building.

Mailboxes

First floor commercial tenants shall provide for suite-to-suite delivery to comply with U.S. Postal regulations. Upper floor residential tenants shall have ganged mailboxes in the building lobby. Upper floor office tenants shall have a mailroom at the first level of the building.

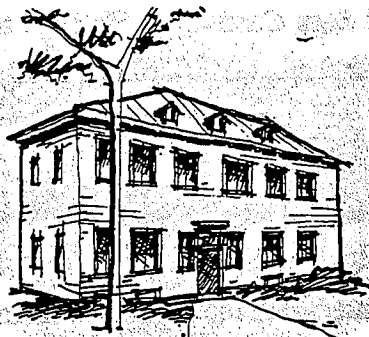


B. Peripheral Areas

Only the sections listed below vary from the guidelines for "Main Street." Refer to those guidelines for sections not shown here.

Historical Reference

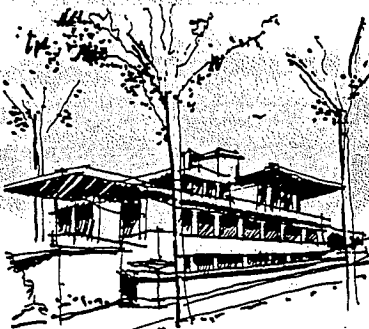
American suburban architecture which re-interpreted European influences, such as Italian Renaissance, Georgian, and Beaux Arts, eventually developed into more purely American styles such as Prairie style. Elements found in these examples are the basis of the architectural vocabulary for this portion of the Town Center.



GEORGIAN

Building Mass and Scale

The plan may be linear or massed based on the individual site. The elevations may have stronger horizontal emphasis, and the buildings may step back from the street at the upper level.



PRAIRIE STYLE

Balconies

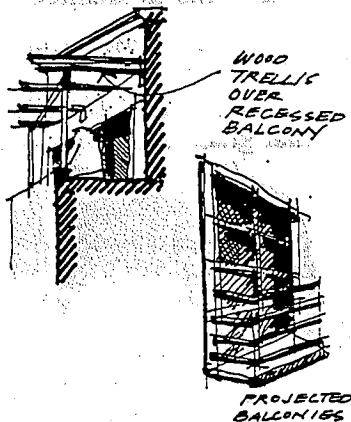
Use of balconies at office building should be minimized. Balconies at upper floors of residential are encouraged, and they may be recessed or projecting.

Colonnades

Recessing all first floor storefronts from the building plane to create a protected walkway is acceptable.

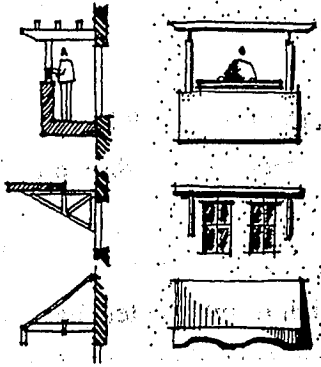
Awnings/Canopies/Trellises

Use of these elements should be carefully integrated into the building design to avoid the appearance of being tacked-on or afterthoughts. These elements should not encroach into the sidewalk except at



WOOD TRELLIS OVER RECESSED BALCONY

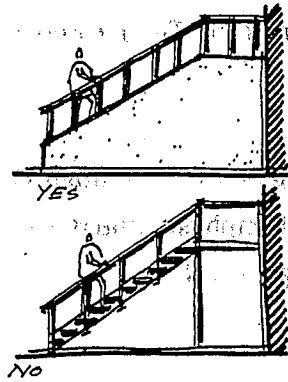
PROJECTED BALCONIES



building entrances. Wood trellises should be in the “craftsman” tradition (i.e. Greene & Greene). Rough sawn, re-sawn, or heavy timber trellises will not be allowed.

Signage

See signage Section 8.0 for General Sign Guidelines. Signage for street level tenants must be integrated in to the basic building design. No signage will be allowed for commercial uses above the first floor, except for painted window signage

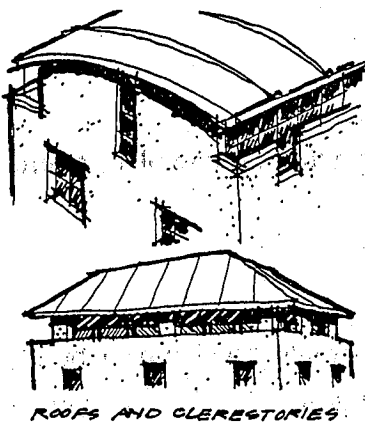


Stairs

Stairs to all upper story uses will be internal to the buildings. If first floor residences are not at street grade, stoops from the street may be used to access individual units.

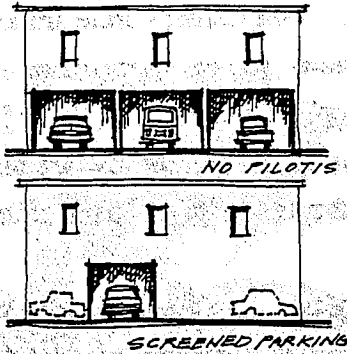
Roofs

Hipped and gable roofs with a flat pitch (30° max) will be the principal roof forms. Flat roofs may be introduced to accent a specific architectural elements.



Windows

Use casement, single or double hung window individually grouped. Continuous bands of fenestration such as clerestories may be used at upper floor of office buildings. Use lintels and sills as architectural accents. Recess windows from exterior wall plane to create shadow lines. Window frames and mullions should have a deep profile i.e. wood windows or clad windows. Residential grade aluminum windows will not be allowed.



Parking

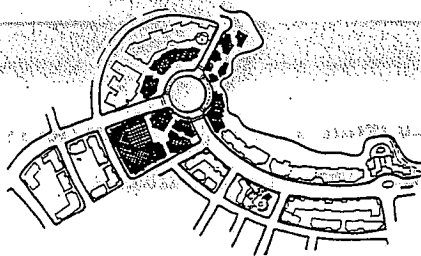
If building is above surface parking, screen parking from street and avoid placing building on pilotis. Where parking faces the interior of the property, "tuck under" parking is acceptable. Provide natural light to parking areas where possible.

Loading

Provide accessibility for loading and deliveries from interior portion of site.

Mailboxes

First floor commercial tenants shall provide for suite-to-suite delivery to comply with U.S. Postal regulations. Upper floor residential tenants shall have ganged mailboxes in the building lobby. Upper floor office tenants shall have a mailroom at the first level of the building.



C. Town Center Circle

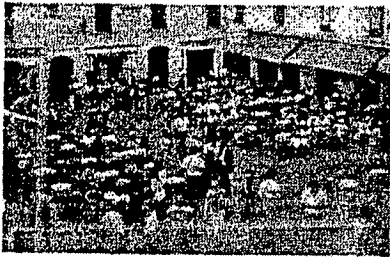
Historical Reference

Plaza's, piazzas, and town squares have been civic focal points since cities have existed. They range from landscaped traffic circles, such as the traffic circle in the City of Orange, to intimate neighborhood gathering places, as found in most Italian cities. The Town Center Circle should be the physical, cultural, and civic center for all of Santa Clarita



TRAFFIC CIRCLE, ORANGE CA.

The Town Center is where the architecture for "Main Street" and the peripheral residential and offices will interact. Since this area will be a mix of uses, scales and sizes, its architecture should reflect this.



The guidelines for the buildings in the Town Center Circle are to be a combination of the previous two sections. The two story office over commercial, and the theater/retail complex should reflect the guidelines for "Main Street." The retail area and restaurant row are more appropriately scaled to the guidelines for the peripheral uses/offices.

A unique architectural opportunity within this area is the movie theater. Movies create a fantasy world and the buildings which house these have a strong tradition of being an integral part of that experience. Unfortunately, "contemporary" planning practices have often discouraged this. While conforming to the general guidelines of the sections above, this building should be exuberant in its expression. Its signage, marquees, architecture and lighting should promote a return to its historical roots, as a true place of entertainment.

Only the following sections contain changes specific to the Town Center Circle:

Balconies

Large second-story balconies outside retail areas and at upper floors of restaurants facing the Town Center Circle are encouraged.

Colonnades

Limited use of colonnades to create a layering outside the retail uses or an area for outside seating is acceptable. Areas above the colonnades may be used as second-story balconies.

Signage

Upper level retail, restaurant and commercial uses may have signage to conform to the General Sign Guidelines, Section 8.0.

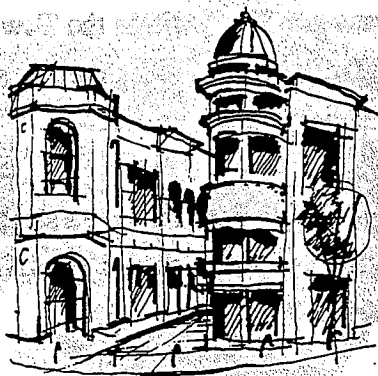


Stairs

Stairs to second story retail or restaurant uses may be exterior. Exterior stairs may have open balusters and railing but should be solid below the tread level.

Roofs

Roof forms within the Town Center Circle may vary from those noted in the two previous sections. Use of domes, mansards, vaults, etc. may be used to accent specific architectural forms.



ARCHITECTURAL ROOF ELEMENTS



6.3.2 Soledad District Commercial

The Soledad Mixed Use area is intended to blend uses such as convenience retail, service, office and transportation uses which support the rail station function of the area, and should not compete with the specialty or entertainment uses permitted within the Town Center District. The area will, however, be aesthetically complimentary to the Town Center, reaffirming their physical linkage.

The rail station should be the most identifiable and prominent structure within that area. All structures within this area should relate in architecture and orientation to this central rail station.

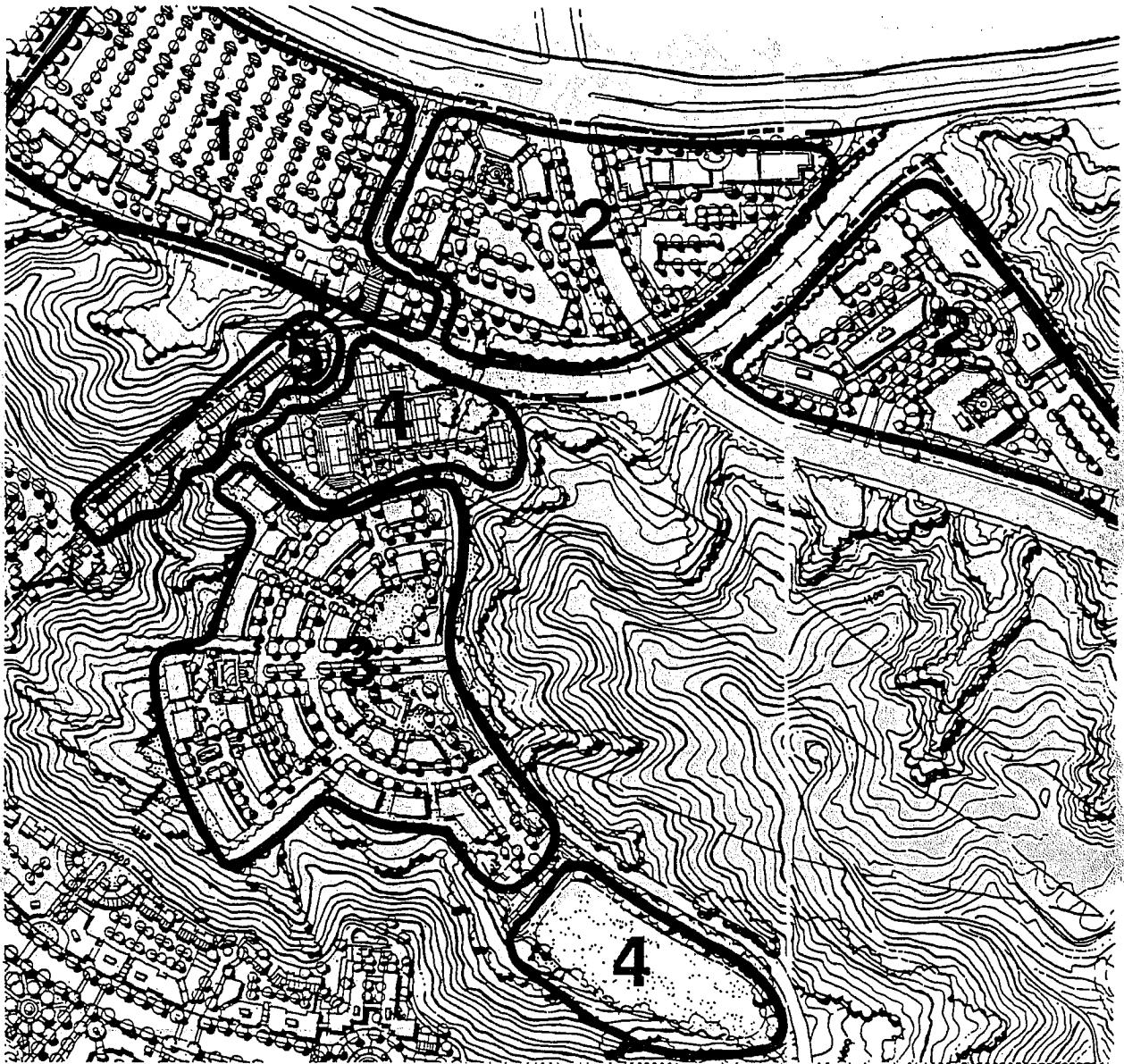
The purpose of creating separate Office and Business Park areas is to enable clusters of larger scale buildings to be constructed within local proximity to the Mixed Use areas, particularly the Multi-modal transportation facility. This relationship between these uses and the transportation facility is intended to act as an employment base for people utilizing the rail or buses.

Historical Reference

As in the Peripheral Area of the Town Center, the Soledad District reflects to the American suburban architecture which re-interpreted European influences, such as Italian Renaissance, Georgian, and Beaux Arts, eventually developed into more purely American styles such as Prairie style. Elements found in these examples are the basis of the architectural vocabulary for this portion of the Town Center.

Building Mass and Scale

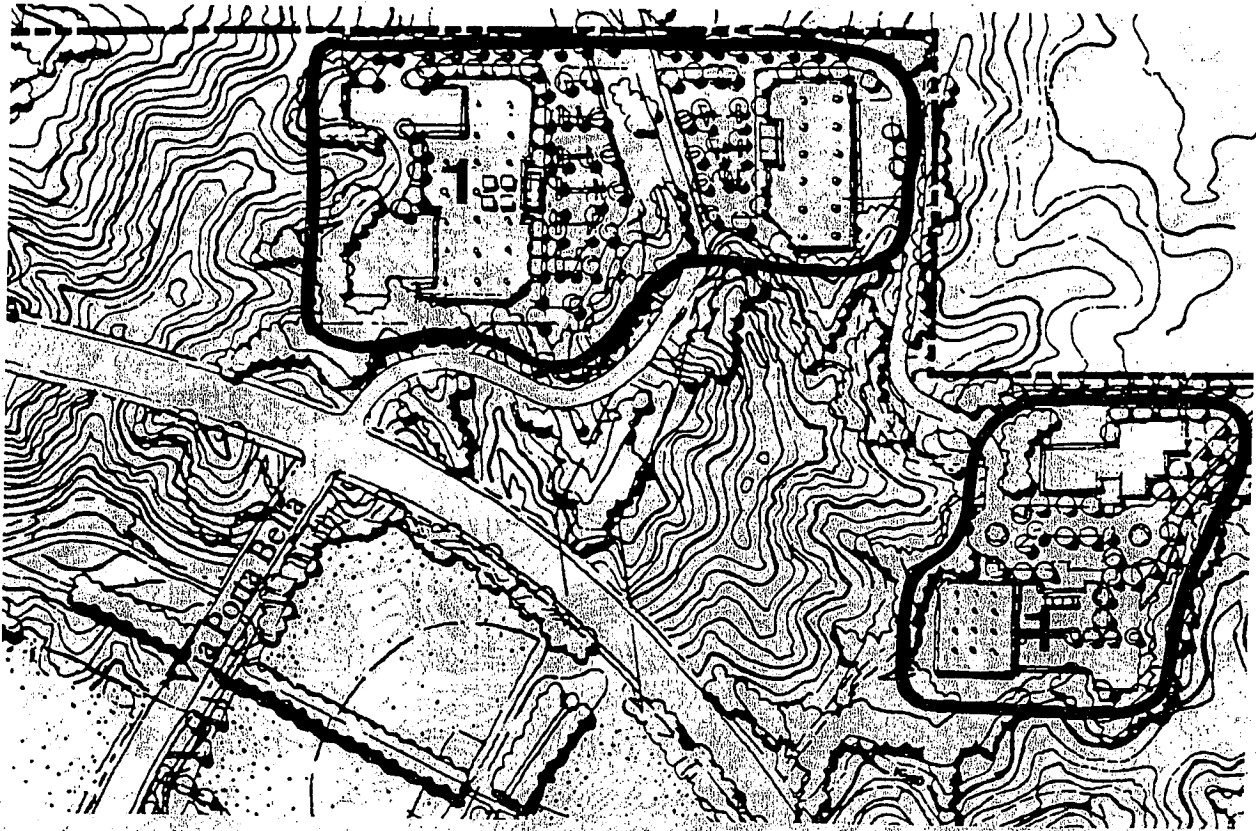
The plan may be linear or massed based on the individual site. The elevations may have stronger horizontal emphasis, and the buildings may intermittently step back from the pedestrian level at the upper



KEY

1. RAIL STATION AND COMMERCIAL
2. OFFICE/BUSINESS PARK
3. MULTI-FAMILY RESIDENTIAL
4. SPORTS CLUB/GOLF DRIVING RANGE
5. PEOPLE MOVER/ESCALATOR

SOLEDAD DISTRICT



KEY

1. BUSINESS PARK

SOLEDAD DISTRICT

level. Office buildings which will occupy both sides of Santa Clarita Parkway may be more vertical, creating a "frame" around the Parkway. The Business Park area located further along Santa Clarita Parkway should be designed with a structural relationship to the Parkway, rather than a parking lot foreground.

Balconies

Recessed or slightly projecting balconies at upper floors are permitted.

Colonnades

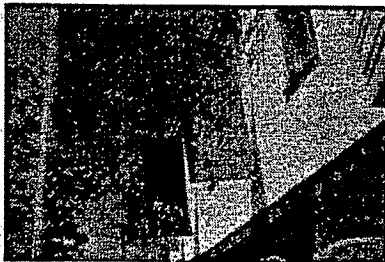
Recessing all first floor store fronts from the building plane to create a protected walkway is acceptable.

Awnings/Canopies/Trellises

These devices are an integral part of this architectural vocabulary. These elements should be carefully integrated into the building design to avoid the appearance of being tacked-on or afterthoughts. These elements may occasionally span the width of the sidewalk at areas such as entrances to the buildings. Wood trellises should be in the "craftsman" tradition (i.e. Greene & Greene). Rough sawn, re-sawn, or heavy timber will not be allowed.

Signage

See signage Section 8.0 for General Sign Guidelines. Signage for tenants must be integrated into the basic building design. Ignoring this criteria will result in signage that appears tacked-on and detrimental to the quality of design. Signage should be viewed as a design opportunity as it is an integral part of the image of this street.



Stairs

Stairs to all upper story uses will be internal to the building.

Roofs

Hipped and gable roofs with a flat pitch (30° max) will be the principal roof forms. Flat roofs may be introduced to accent a specific architectural elements.

Windows

Use casement, single or double hung window individually or grouped. Continuous bands of fenestration such as clerestories may be used at upper floor of office buildings. Use lintels and sills as architectural accents. Recess windows from exterior wall plane to create shadow lines. Window frames and mullions should have a deep profile i.e. wood windows or clad windows. Residential grade aluminum windows will not be allowed.

Frontages/Doors

Create a rhythm with the frontages which will allow for flexibility in lease break-ups. Recess frontage from wall plane to provide shadow lines. Use storefront material with a deep profile such as milled wood. Use materials which will add textures and accent to the building at non-glazed storefront bulkheads. The building entries to access upper floors should be easily identifiable and should not be confused with street level entries. The entry element may project into or span the sidewalk to engage the pedestrian.

Materials

The building materials should project the image of substance and durability. Materials which are rich texturally should be used at the street level where the pedestrian is in closest contact with the building. The use of local materials is encouraged, such as Bouquet Canyon Stone. Appropriate Materials include but are not limited to:

- Stone/stone veneer
- Masonry - split-faced, polished
- Cement plaster
- Tile - glazed, quarry
- Concrete/pre-cast concrete
- Wood for trellises, accents
- Wood doors/storefronts/windows
- Asphalt roof shingles
- Flat concrete roof tile
- Copper roofs
- Metal roofs
- Fabric awnings - canvas, synthetic

Colors

This guideline will not attempt to establish a specific color palette but rather determine the range of colors which are appropriate. Using building products made from local materials will establish a color range of their own. Muted colors (i.e. the darker end of the value scale) are appropriate - rust, ochre, forest green, grey, etc. Pale colors are appropriate - tan beige, off-white. Colors at the brighter end of the value scale are not appropriate except as accents in limited areas i.e. bright greens, yellows, purples, etc. Use of changes in materials as accents in lieu of painted accents is encouraged.

Building Lighting

Building facades should be lit to enhance activity, aesthetics and security. Buildings should not rely entirely on spill-over from street

lights or from frontages for illumination. In general, the building lighting should be designed so that the light source is not visible or the exposed fixture is an integral part of the design. Building lighting should be directed to avoid glare or blinding of pedestrians or in upper level residence. The lighting of upper floors and architectural features is encouraged.

Parking

Surface and structured parking below buildings in some cases. Minimize breaks in buildings for parking access. Where possible, maintain continuity of upper level at parking entry through building. If building is above surface parking screen parking from street and avoid placing building on pilotis. Provide natural light to parking areas where possible.

Loading

Provide accessibility for loading and deliveries from interior portion of site where possible. Limit amount of loading for the maneuvering lanes.

Mechanical Equipment

Screen all equipment from visibility from street and adjacent buildings. Equipment in the Soledad District shall also be screened from view from the escalator and view areas within the Town Center District. Equipment rooms are highly encouraged. No exposed roof mounted equipment will be allowed in the Soledad District.

Antennas and Satellite Dishes

Screen dish antennas from visibility from streets, adjacent buildings and Town Center District.

Gutters/Downspouts

Provide gutters at areas of pedestrian access such as building entrances. Downspouts and gutters shall be hidden unless they are an integral part of the architectural design.

Skylights

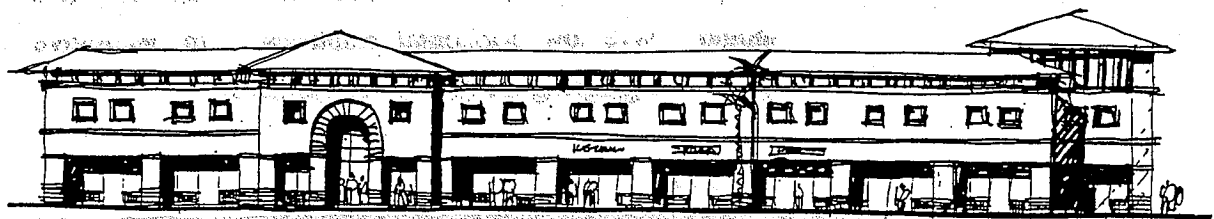
Do not use skylights on sloping roofs visible from the street. Use of skylights is encouraged to provide upper floor tenants a maximum of natural light.

Trash Enclosures

Trash receptacles shall not be visible from the street and shall be located in enclosure or integrated into building. If enclosure is visible from above, provide screening over the top that is architecturally compatible with the building.

Mailboxes

First floor commercial tenants shall provide for suite-to-suite delivery to comply with US Postal regulations. Upper floor residential tenants shall have ganged mailboxes in the building lobby. Upper floor office tenants shall have a mailroom at the first level of the building.



6.3.3 Central District Non-Residential

The location of the elementary school land use in this district is due to its central location within the community, its proximity to the adjacent active park, and its locations adjacent the Riparian habitation area, which may be utilized for educational purposes. The School is also serviced by a community-wide trail system for pedestrians, with grade separation crossing the "Main Street" for safety.

The architectural character of the school should reflect and exemplify the notions of the New Heritage character. The following design guidelines should be considered in the development of the school.

The Central District reflects to the American suburban architecture which re-interpreted European influences, such as Italian Renaissance, Georgian, and Beaux Arts, eventually developed into more purely American styles such as Prairie style. Elements found in these examples are the basis of the architectural vocabulary for this portion of Porta Bella.

Building Mass and Scale

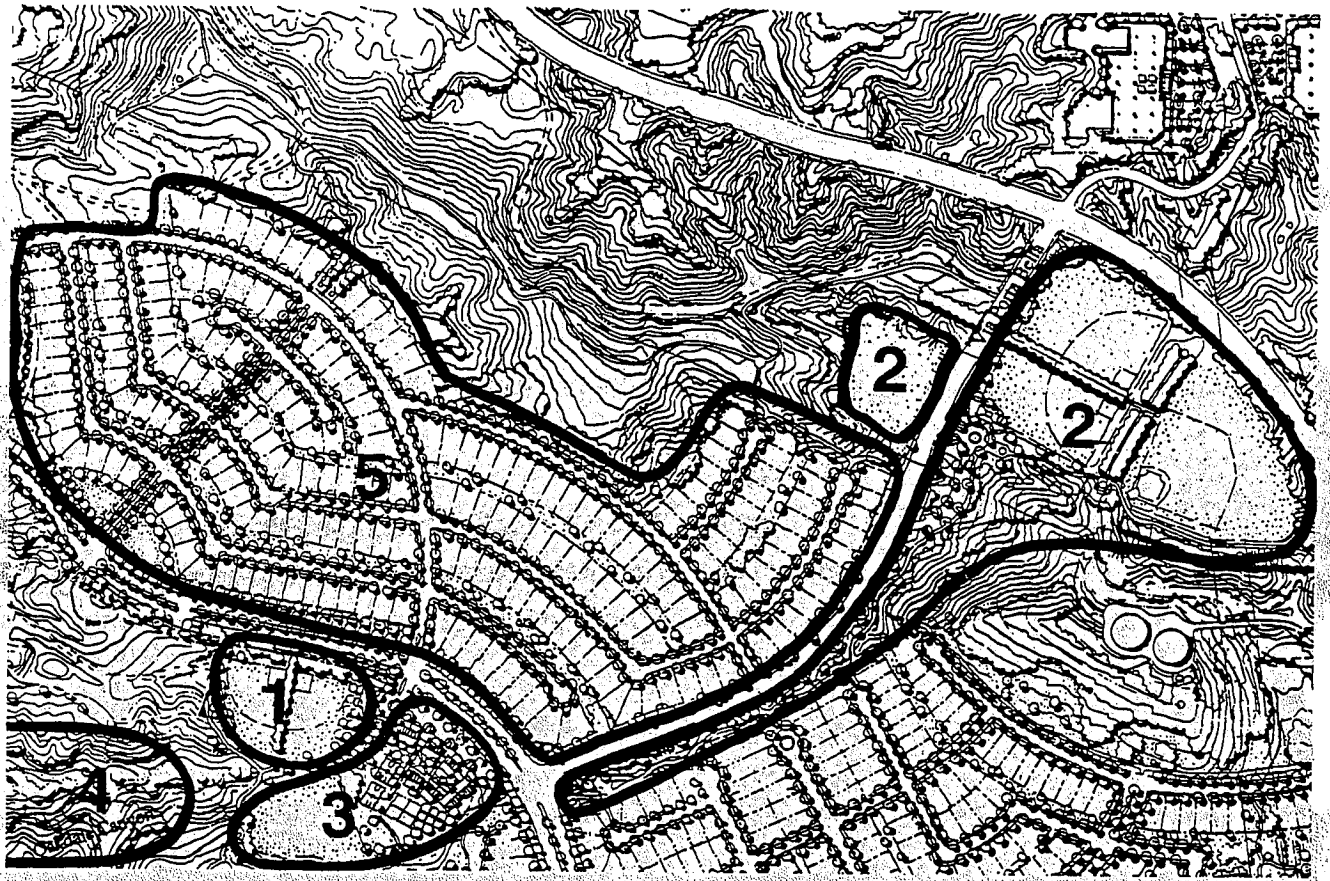
The plan may be grouped or campus-like to fit the site. The elevations should have low horizontal emphasis, with decorative vertical elements signifying the schools importance.

Balconies

Recessed or slightly projecting balconies at second floors are permitted, if applicable.

Colonnades

Recessing all first floor fronts from the building plane to create a protected walkway is acceptable.



KEY

- 1. NEIGHBORHOOD PARK
- 2. COMMUNITY TRAIL AND PARK
- 3. ELEMENTARY SCHOOL
- 4. RIPARIAN REHABILITATION AREA
- 5. SINGLE-FAMILY RESIDENTIAL

CENTRAL DISTRICT

Awnings/Canopies/Trellises

These devices are an integral part of this architectural vocabulary. These elements should be carefully integrated into the building design to avoid the appearance of being tacked-on or afterthoughts. These elements may span the width of the sidewalk for protection from the sun. Trellises should be in the "craftsman" tradition (i.e. Greene & Greene). Rough sawn, re-sawn, or heavy timber should not be used.

Signage

See signage Section 8.0 for General Sign Guidelines. Signage for the school should be integrated into the basic building design. Ignoring this criteria will result in signage that appears tacked-on and detrimental to the quality of design.

Stairs

Exterior stairs should match the architectural integrity of the structure.

Roofs

Hipped and gable roofs with a flat pitch (30° max) should be the principal roof forms. Flat roofs may be introduced to accent a specific architectural elements.

Windows

Windows will be selected to further express the architectural style being depicted.

Doors

Recess frontage from wall plane to provide shadow lines. Use materials which will add textures and accent to the building. The entry element may project into or span the sidewalk to engage the pedestrian.

Materials

The building materials should project the image of substance and durability. Materials which are rich texturally should be used where the pedestrian is in closest contact with the building. The use of local materials is encouraged, such as Bouquet Canyon Stone. Appropriate Materials include but are not limited to:

- Stone/stone veneer
- Masonry - split-faced, polished
- Cement plaster
- Tile - glazed, quarry
- Concrete/pre-cast concrete
- Wood for trellises, accents
- Wood doors/storefronts/windows
- Asphalt roof shingles
- Flat concrete roof tile
- Copper roofs
- Metal roofs
- Fabric awnings - canvas, synthetic

Colors

This guideline will not attempt to establish a specific color palette but rather determine the range of colors which are appropriate. Using building products made from local materials will establish a color range of their own. Muted colors (i.e. the darker end of the value scale) are appropriate - rust, ochre, forest green, grey, etc. Pale colors are appropriate - tan beige, off-white. Colors at the brighter end of the value scale are not appropriate except as accents in limited areas i.e. bright greens, yellows, purples, etc. Use of changes in materials as accents in lieu of painted accents is encouraged.

Building Lighting

Building facades should be lit to enhance activity, aesthetics and security. Buildings should not rely entirely on spill-over from street lights for illumination. In general, the building lighting should be designed so that the light source is not visible or the exposed fixture is an integral part of the design. Building lighting should be directed to avoid glare or blinding of pedestrians or to nearby residences. The lighting of upper floors and architectural features is encouraged.

Loading

Provide accessibility for loading and deliveries from interior portion of site where possible.

Mechanical Equipment

Screen all equipment from visibility from street and adjacent uses. Equipment rooms are highly encouraged. No exposed roof mounted equipment should be allowed.

Gutters/Downspouts

Provide gutters at areas of pedestrian access such as building entrances. Downspouts and gutters should be hidden unless they are an integral part of the architectural design.

Skylights

Do not use skylights on sloping roofs visible from the street. Use of skylights is encouraged to provide a maximum of natural light.

Trash Enclosures

Trash receptacles should not be visible from the street and shall be located in enclosure or integrated into building. If enclosure is visible from above, provide screening over the top that is architecturally compatible with the building.

6.3.4 South District Commercial & Institutional

The Neighborhood Commercial use within the South District is intended service the surrounding community, and cross-town motorists traveling on Via Princessa or Santa Clarita Parkway. Uses within this area should generally provide consumer necessities, and should not compete with the retail, specialty retail and entertainment oriented Town Center Mixed-Use area.

The institutional use located along Santa Clarita Parkway is intended to be of public benefit, whether it be a house of worship, fire station, day care center, parochial school or similar. Its architecture should reflect the visually prominent location it occupies by being an exemplary model of the New Heritage character.

Historical Reference

The South District reflects to the American suburban architecture which re-interpreted European influences, such as Italian Renaissance, Georgian, and Beaux Arts, eventually developed into more purely American styles such as Prairie style. Elements found in these examples are the basis of the architectural vocabulary for this portion of the Town Center.

Building Mass and Scale

The plan may be linear or massed based on the individual site. The elevations may have stronger horizontal emphasis. Structures in this area will be primarily single story.

Colonnades

Recessing store fronts from the building plane to create a protected walkway is acceptable.

Awnings/Canopies/Trellises

These devices are an integral part of this architectural vocabulary. These elements should be carefully integrated into the building design to avoid the appearance of being tacked-on or afterthoughts. These elements may occasionally span the width of the sidewalk at areas such as entrances to the buildings. Wood trellises should be in the "craftsman" tradition (i.e. Greene & Greene). Rough sawn, re-sawn, or heavy timber will not be allowed.

Signage

See signage Section 8.0 for General Sign Guidelines. Signage for tenants must be integrated into the basic building design. Ignoring this criteria will result in signage that appears tacked-on and detrimental to the quality of design. Signage should be viewed as a design opportunity as it is an integral part of the image of this street.

Roofs

Hipped and gable roofs with a flat pitch (30° max) will be the principal roof forms. Flat roofs may be introduced to accent a specific architectural elements.

Windows

Use casement, single or double hung window individually or grouped. Use lintels and sills as architectural accents. Recess windows from exterior wall plane to create shadow lines. Window frames and mullions should have a deep profile i.e. wood windows or clad windows. Residential grade aluminum windows will not be allowed.

Storefronts/Doors

Create a rhythm with the frontages which will allow for flexibility in lease break-ups. Recess frontage from wall plane to provide shadow lines. Use storefront material with a deep profile such as milled wood. Use materials which will add textures and accent to the building at non-glazed storefront bulkheads. The building entries to access upper floors should be easily identifiable and should not be confused with street level entries. The entry element may project into or span the sidewalk to engage the pedestrian.

Materials

The building materials should project the image of substance and durability. Materials which are rich texturally should be used at the street level where the pedestrian is in closest contact with the building. The use of local materials is encouraged, such as Bouquet Canyon Stone. Appropriate Materials include but are not limited to:

- Stone/stone veneer
- Masonry - split-faced, polished
- Cement plaster
- Tile - glazed, quarry
- Concrete/pre-cast concrete
- Wood for trellises, accents
- Wood doors/storefronts/windows
- Asphalt roof shingles
- Flat concrete roof tile
- Copper roofs
- Metal roofs
- Fabric awnings - canvas, synthetic

Colors

This guideline will not attempt to establish a specific color palette but rather determine the range of colors which are appropriate. Using building products made from local materials will establish a color range of their own. Muted colors (i.e. the darker end of the value scale)

are appropriate - rust, ochre, forest green, grey, etc. Pale colors are appropriate - tan beige, off-white. Colors at the brighter end of the value scale are not appropriate except as accents in limited areas i.e. bright greens, yellows, purples, etc. Use of changes in materials as accents in lieu of painted accents is encouraged.

Building Lighting

Building facades should be lit to enhance activity, aesthetics and security. Buildings should not rely entirely on spill-over from street lights or from frontages for illumination. In general, the building lighting should be designed so that the light source is not visible or the exposed fixture is an integral part of the design. Building lighting should be directed to avoid glare or blinding of pedestrians adjacent residential areas.

Loading

Provide accessibility for loading and deliveries from interior portion of site where possible. Limit amount of loading for the maneuvering lanes.

Mechanical Equipment

Screen all equipment from visibility from street and adjacent buildings. Equipment rooms are highly encouraged.

Antennas and Satellite Dishes

Screen dish antennas from visibility from streets, and adjacent buildings.

Gutters/Downspouts

Provide gutters at areas of pedestrian access such as building entrances. Downspouts and gutters shall be hidden unless they are an integral part of the architectural design.

Skylights

Do not use skylights on sloping roofs visible from the street. Use of skylights is encouraged to provide tenants a maximum of natural light.

Trash Enclosures

Trash receptacles shall not be visible from the public view, and shall be located in enclosure or integrated into building. If enclosure is visible from above, provide screening over the top that is architecturally compatible with the building.

Mailboxes

Commercial tenants shall provide for suite-to-suite delivery to comply with US Postal regulations. Tenants may have ganged mailboxes.

6.3.5 General Commercial Standards

The following general provisions are intended to apply to all commercial districts within Porta Bella. However, these standards shall take precedence only when a specific area regulation does not specify greater or more restrictive criteria.

Temporary Uses

The following temporary uses may be permitted upon review and conditional approval by the Director of Community Development:

- (1) Temporary on-site construction offices/facilities
- (2) On-site leasing and sales offices
- (3) On-site real estate signs and future development signs in conformance with Section 8.0, Sign Regulations.

The above uses shall be approved for a specified period of time, not to exceed one year intervals, and a performance bond may be required to remove any structures at the end of the approved period of use.

Operation in General

All commercial uses which are required to be operated in a completely enclosed building shall be operated in such a way as to produce no objectionable noise or odors outside its own building's walls.

Landscaping

Commercial development shall have all required landscaping installed at the time of occupancy, and said landscaping shall be provided with irrigation systems which comply with standards described in Section 5.0, Landscape regulations.

All landscaping and irrigation systems shall be maintained in good condition by the property owner unless other provisions have been made. All developments shall be responsible for landscaping and maintenance of adjacent parkways, unless other provisions have been made.

Fences and Walls

Where required, an opaque fence or wall shall be a minimum of six feet as measured from the highest grade elevation on either side of the fence or wall. The following exceptions shall apply:

- (1) In required front setback areas, the maximum height of a fence or wall shall be forty-two inches.
- (2) Along property lines to non-service or storage areas, buffer fences and walls should be used sparingly, leaving comfortable openings to enhance pedestrian mobility.

Nothing within this Section is intended to minimize the Planning Commission from requiring the design of a specific fence or wall to accommodate a particular situation or condition.

Self-service Devices

Self-serve devices, including, but not limited to, newspaper racks and ice machines, may be permitted subject to approval by the Director of Community Development prior to installation. In approving the location of said devices, the Director shall ensure that the device:

- (1) Complies with all other City Codes and Ordinances
- (2) Will not interfere with pedestrian and vehicular circulation patterns
- (3) Will not encroach into the public right-of-way
- (4) Will not encroach into required parking, setback, or landscape areas.

Circulation Patterns

Circulation patterns within commercial and industrial districts shall be designed to minimize the number of curb cuts required. Curb cuts should be located as far as possible from intersections and whenever possible be aligned with others on the opposite side of the street.

Recycling Centers

Recycling drop-off containers and services shall be conditionally permitted as an accessory use in all non-residential land use areas. Hazardous materials drop-off and recycling centers for household items such as paints, oils, insecticides/herbicides, and similar items are also conditionally permitted accessory uses in these areas. The incorporation of these facilities within the community is encouraged, and review should be limited to the function of the center in its proposed location.

Gas Stations

The provisions of the Section shall apply to all new service stations and other places where automotive fuels are dispensed.

(1) Site

All new sites for Gas Stations shall have a minimum net lot area of 15,000 square feet and a frontage of 125 feet on any street having a driveway. No driveways may be located closer than 75 feet to any intersection.

(2) Pumps

All gasoline pumps and pump islands upon which they are placed shall be setback a minimum of thirty feet from any property line

(3) Canopies

Canopies shall setback a minimum of twenty feet from any property line.

(4) Activities

The following activities may be permitted: Dispensing of gasoline, diesel fuels, oil, grease, tires, batteries and replacement parts and installation of the items enumerated.

Heavy engine or transmission repair or painting shall not be permitted in a service station. Convenience stores, mini-marts, car washes whether automatic or manual shall be permitted in conjunction with a services station subject to approval of a Conditional Use Permit. All such uses shall be conducted within a completely enclosed building.

(5) Repair and Servicing

All repair equipment including hydraulic hoists, portable jacks, pits, alignment equipment, and tire equipment and all servicing other than dispensing of fuel and oil shall be entirely enclosed within a building. Bay doors for service areas shall be located away from view from public areas.

(6) Parking

Vehicles shall not be parked on the premises other than in designated parking spaces. No overnight parking shall be permitted except for vehicles under repair when maintained within a fully enclosed building. When a mini-mart or convenience store is operated in conjunction with the gasoline station, a minimum of five parking spaces shall be provided and conveniently located to serve store customers. All car wash installations shall provide adequate stacking for a minimum of four vehicles per lane at the entry of the facility. Parking areas for air and water service, drying and vacuuming shall be clearly provided.

(7) Walls

A decorative masonry wall six feet in height shall be constructed and maintained along all side and rear interior property lines abutting residential property. Where such walls abut or are adjacent to commercial/office uses, they shall be five feet in height. A minimum five foot landscape planter shall be provided adjacent to the wall. Walls may be reduced in height or waived where the gasoline station and abutting commercial or industrial uses share a common driveway, or where it is determined unnecessary by the Director of Community Development.

(8) Signs

All price signs shall be limited to monument or wall style and shall satisfy the minimum size and number required by State law. All such signs shall be incorporated as an integral part of the business' permanent signs in such a manner as not to detract from the appearance of the primary sign. Price signs shall not be affixed to light standards or other non-sign structures. Advertising displays and devices other than approved signs shall be prohibited.

(9) Towing Operations

Towing operations, clearly incidental to, and in conjunction with a permitted Gas Station may be permitted provided trucks are parked within approved parking spaces. Such spaces shall be located to the

rear of the property, shall be screened from public view and shall be clearly identified on submitted development plans. No on-site storage of towed vehicles, other than those towed for minor repair may occur.

(10) Design

Except as otherwise provided in this Section, Gas Stations shall comply with the design concepts and standards in this Chapter and within the individual district Chapters as required for all their commercial businesses. A preferred site design for gas stations on corner lots is to locate the structure diagonally near the corner, with fuel pumps located to the interior of the project. This design forces entrances away from the corner intersection, and creates a stronger streetscape with the building as an anchor.

(11) Restrooms

Men's and women's restrooms shall be provided and made available to customers. Separate facilities shall be provided for each sex and maintained open to the public during business hours and kept in sanitary and working condition.

(12) Handicap Accessibility

All buildings, services locations and restrooms shall be handicap accessible and usable as established by State and locally adopted handicap standards.

(13) Loading Facilities

Loading facilities to serve convenience marts and fuel tanks shall be located such that they do not block or restrict circulation driveways on-site.

(14) Sale of Alcoholic Beverages

Establishments engaged in the concurrent sale of motor vehicle fuel with alcoholic beverages shall abide by the following requirements:

- (a) No advertisement of alcoholic beverages shall be displayed at motor fuel islands and no self-illuminated advertising for beer or wine shall be located on buildings or windows.
- (b) No sale of alcoholic beverages shall be made from a drive-in window.
- (c) No display or sale of beer or wine shall be made from an ice tub or similar.
- (d) Automobile Storage - Automobiles parked in any required parking space shall be drivable, clearly operable in general and have a current licence and registration.

6.4 Residential Design Guidelines

The residential architectural character of the community may also be defined as "New Heritage." This character takes the best elements from contemporary and traditional sources, and blends them in a distinctive manner. This character is inspired by a number of distinct architectural styles such as Monterey, Mission, Italianate and traditional American architecture, including Prairie, Craftsman and California Bungalow. Many of these styles share a common relationship in that most were popular in the early days of California.

Within Porta Bella, the selection of one consistent design style is not as important as is the selection of a design palette that will result in a distinct and unique character. Good examples of cities which have elements of this eclectic character are Pasadena, Redlands, Carmel, San Juan Capistrano, Monterey and Santa Barbara. Within these cities are varying degrees of the above mentioned architecture.

Building Mass & Scale

Structures within the community should be developed with spatial relationships in mind. Several points should be considered by the developer prior to submittal. They are:

- The proposed development will have an aesthetic relationship to the street level, especially the pedestrian and automobile perspective. Appropriate setbacks and use relationships (i.e. front porch vs. garage door) should especially be considered.
- The proposed development will have an aesthetic relationship to the surrounding properties.
- Obstructions to views will be minimized.

Roof Pitches & Materials

Roof pitches may be varied within the community according to the architectural style chosen. Due to the inherent fire danger of the area, special care shall be taken in selecting roof materials. Roofing materials shall be fire resistant pursuant the criteria of the Building Department.

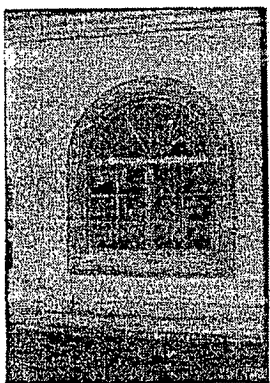
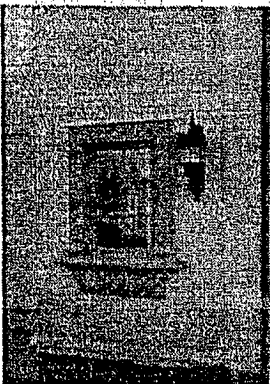
Except on flat surface roofs, tar paper roofing shall not be allowed. Asphalt shingle roofing shall only be allowed if it can be demonstrated that the particular brand to be utilized can be installed with a three dimensional quality, such as simulated wood-shake or thick-border, random tab varieties.

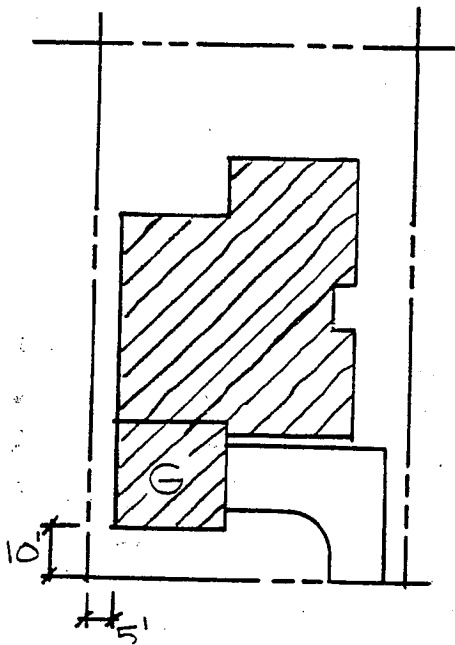
Windows & Doors

Particular attention must be given to the shading of window with a western exposure. Interior and exterior shading devices are encouraged. Passive energy design is recommended

Silver and gold window or door frames are prohibited, as is reflective glass. Aluminum frame window shall be treated with matching or complimentary building trim color.

Front doors are very important in setting the tone of an architectural style. Care should be taken in the selection of front doors that they reflect the architectural style of the home, and are solid and decorative in appearance.





Garage Doors and Driveways

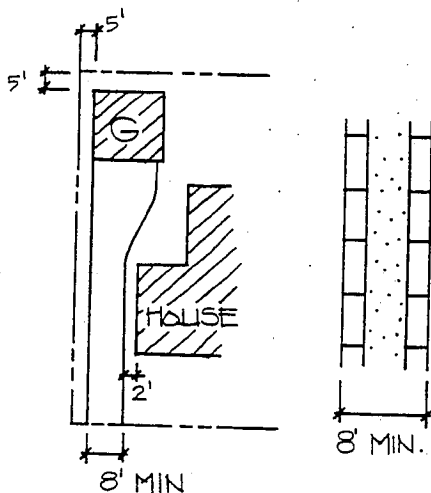
Often in neighborhood design, the garage door is perhaps the single most visible architectural element on a home, as it is usually located facing the street. Within this community, setbacks have been established which encourage the home to project in front of the garage door, therefore reducing the door's dominance of the streetscene.

Garages to the rear of the structure are also highly encouraged within Porta Bella by utilization of alleys in the Paired Single Family areas, and the allowance of single-lane sideyard driveways in all other single family areas with lots above 4,000 square feet. This design offers a unique design opportunity by creating a "monitorable" play area to the rear, rather than the street front, of the home. Shared zero lot-line driveways are permitted to access rear yard garages.

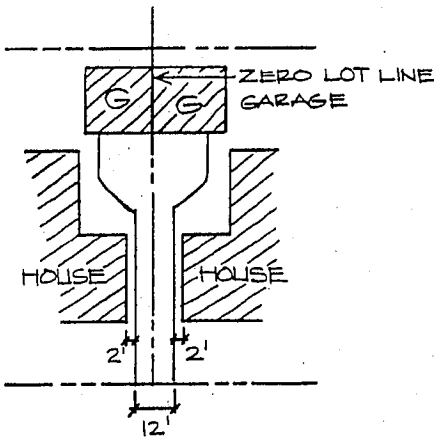


Driveways within this community are also encouraged to be designed in the traditional concrete "strip" design. This design lessens the expanse of concrete in front of the unit, which acts to:

- Create a "softer" streetscape.
- Create a more traditional character.
- Conserve water by lessening the non-permeable surface area.
- Conserve water by allowing it to soak into the ground, instead of running off into the street when car washing, etc.
- Lessen the amount of heat generation caused by urban surfaces.



Side yard driveways, which are intended to service rear yard detached garages, should be single lane in width, especially at the curb. This driveway may expand to two lanes behind the leading edge of the wall of which it is adjacent.



Exterior Stairs

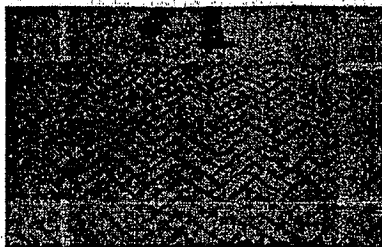
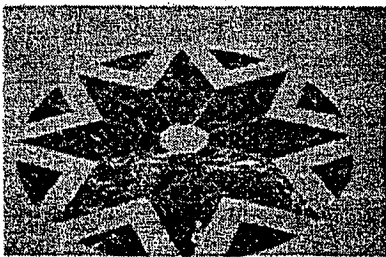
Exterior stairs should architecturally compliment and enhance the structure it serves.

Project Fences, Hedges and Walls

Private walls and fences may be constructed to provide security, privacy and landscape definition. Visual barriers shall be limited to a maximum height of six feet. Height of visual barriers within residential front setback areas shall not exceed forty-two inches, except that visual barriers may exceed forty two inches if they are set back from the front property line a distance equal to the dwelling, garage, or carport setback, but not less than ten feet. These restrictions are not applicable regarding the planting of trees in parkway, median, slope or front yard areas.

Project fences, hedges and walls shall not interfere with driver sight distances or angles, and may be staggered due to terrain.

Walls and fences should compliment the architectural style of which it is related. No chain link fencing shall be permitted in the front yard areas beyond the adjacent wall plane of the house.



Paving

Textures, patterns and colors are encouraged in the design of paved areas, especially in public areas of Multi-family areas such as motor courtyards. Large monotonous areas of single-color non-textured paving are discouraged.

Exterior Colors

This guideline will not attempt to establish a specific color palette but rather determine the range of colors which are appropriate. Using building products made from local materials will establish a color

range of their own. Muted colors (i.e. darker end of the value scale) are appropriate - rust, ochre, forest green, grey, etc. Pale colors are appropriate - tan, beige, off-white. Colors at the brighter end of the value scale are not appropriate. Use of changes in materials as accents in lieu of painted accents is encouraged.

Mechanical Equipment

All air conditioning/heating equipment, soft water tanks, gas meters, and electric meters must be screened from public view. Sound attenuation is encouraged.

Antennas & Satellite Dishes

All antennas are restricted to the attic or interior of the residences. All satellite dishes shall be located on the ground level of the rear yard, and shall not be visible to public view.

Flashing Sheet Metal, Vents

All flashing, sheet metal, vent stacks and pipes shall be painted to match the adjacent building surface.

Skylights

Skylights are encouraged to provide natural lighting within a home. Skylights should be designed as an integral part of the roof. Their form, location, and color should relate to the building.

Solar panels

Solar panels and their accessories should be integrated into the roof design, flush with the roof slope. Frames and accessories must be colored to compliment the roof. Natural aluminum frames are prohibited.

Trash Enclosures

Trash bins shall be fully enclosed within a six foot structure with non-gated openings for human access. The structure shall architecturally compliment the structure which it accommodates, and shall be softened with landscaping.

Mailboxes

Where common mailbox services are provided, their structure's architectural style must match that of the surrounding structures. Common mailbox areas must be safe, and adequately illuminated at night. Mailbox locations must be approved by the U.S. Postal Service.

Trellises

Open trellis and beam construction shall be permitted to attach the garage or carport to the dwelling where detached and may also extend from the dwelling to within 5' of the property line in the side, rear yards or front yards, and will not be included in the calculation of the building coverage. Trellises shall not exceed 50% of the exterior space.

Water Preservation

Within the Specific Plan area, all residential developments, including hotels/motels, shall utilize water saving fixtures including, but not limited to:

- Low-flow showerheads with a tested rate of 3 gpm or less. Showers installations must incorporate a convenient "stop water" mechanism to stop water flow mid-shower.
- Low flush volume toilets with a tested rate of 3 gallons or less per flush.
- Encourage centrally located water heater near the water fixtures to minimize the wasteful "heat-up" time for water.

Temporary Uses Permitted

- (1) Model homes, temporary construction offices, temporary real estate offices and signs;
- (2) Continued use of an existing building during construction of a new building on the same building lot.

Projections Into Yards

- (1) Roof projections may extend into a required side yard a maximum of fifty percent of the yard's width, not to exceed two feet, and may extend into a required front or rear yard a maximum of four feet;
- (2) Greenhouse and bay windows, planting boxes, and fire place structures may project a maximum of two feet into required yard setbacks.
- (3) Staircases, balconies, covered porches and other similar structural features may not project more than fifty percent into any required front, rear, or side yard setback, but in no case shall distance exceed four feet except a covered front porch may extend up to eight feet.

Rear Yard Setbacks

Rear Yard Setbacks as established within the individual land use standards, shall be relatively flat. Slopes shall not be included within the calculation of this setback.

6.5 Land Use Standards

The following paragraphs detail the permitted and conditional land uses and development standards within the individual areas. If a use is not listed as permitted or conditional, it shall be considered to be prohibited. At the discretion of the Community Development Director, uses which are prohibited may be reviewed by the Planning Commission for a Conditional Use status.

6.5.1 Town Center Mixed Use

The Town Center Mixed Use Area is intended to blend uses such as entertainment, retail, service, office, cultural, institutional/religious and residential uses.

A. Permitted Uses

The following uses shall be permitted in the Town Center Mixed Use areas. No single use may occupy a structure with a footprint of greater than 30,000 square feet without a conditional use permit. A condition of the conditional use permit shall be that the architectural style of the use appears to be series of individual uses, rather than one dominant use. Uses which are not listed as Permitted or Conditional shall be considered Prohibited. Prohibited uses may be reviewed by the Planning Commission for Conditional Use status if so determined by the Community Development Director.

(1) Retail Uses

- a. Apparel stores
- b. Appliance/electronics stores
- c. Arts and craft galleries or studios
- d. Bicycle sales and rental shops

- e. Food stores, including markets, bakeries, and health food establishments, candy stores.
- f. Florists
- g. General merchandise stores
- h. Hardware stores
- i. Health and exercise clubs
- j. Hobby supply stores
- k. Jewelry stores
- l. Media shops; including bookstores, newsstands, and video tape/laser disc outlets.
- m. Music stores; including sales of instruments, records, tapes and discs
- n. Parking structure
- o. Pet shops; retail sales and grooming only. No boarding of animals
- p. Restaurants and eating places, but excluding drive-ins and drive-throughs. Outdoor eating areas, including sidewalk seating which does not interfere with the pedestrian circulation is permitted. The outdoor serving of alcoholic beverages is permitted in private, clearly defined areas.
- q. Schools and for dance and music
- r. Skating rinks, dance clubs and similar
- s. Specialty food & tobacco items, such as ice cream, wine, candy and tobacco stores.
- t. Sporting goods stores
- u. Theaters, Cinemas and Comedy clubs. Theaters, Peep-shows, Stage shows, paraphernalia shops and similar which specialize in adult oriented materials are prohibited within this area.
- v. Toy shops
- w. Other uses consistent with the intent, scale and character of this area.

(2) *Office and Service Uses*

- a. Accountants, advertising agencies, appraisers, attorneys, business and management consultants, economists, public relations consultants, and other professional offices.
- b. Administrative or executive offices of any type of business.
- c. Architects, landscape architects, planners, engineers and surveyors, geologists, industrial designers, graphic designers, and interior designers.
- d. Barber shops and beauty salons
- e. Employment agencies, travel agencies, and airline ticket agencies.
- f. Financial institutions, including banks, savings and loan associations, finance companies and credit unions. This does not include institutions primarily involved in check cashing.
- g. Government offices and service facilities; excluding storage of equipment, repair or warehouses.
- h. Insurance brokers and services, investment brokers, real estate brokers and offices, and title and escrow companies.
- i. Medical offices, including chiropractors, clinics, dentists, general practitioners, orthodontists, and similar.
- j. Oculists, opticians, and optometrists
- k. Office supply and stationery stores
- l. Personal service establishments; including dry cleaning and tailors.
- m. Photography studio
- n. Prescription pharmacies
- o. Quick copy and printing establishments
- p. Schools and studios for arts, crafts, photography, music, dance and similar humanities.
- q. Small appliance repair, watch and jewelry repair, shoe repair and similar.
- r. Other uses consistent with the intent of this area.

(3) Residential Uses

- a. Multi-family residence when located above and/or behind first floor Retail and/or Service-Office uses.
- b. Convalescent, retirement, rest homes, sanitariums or similar congregate care facilities when located above and/or behind first floor retail and/or service-office uses.

B. Uses Subject to a Conditional Use Permit

Certain uses, while similar to the Permitted uses, may adversely affect surround properties and require additional consideration. Such uses shall require a conditional Use Permit. These uses include the following:

1. Bars and Cocktail lounges not in conjunction with a restaurant.
2. House of worship
3. Day Care for children and adults
4. Gas Stations, subject to the provisions of this sections regarding Gas Stations
5. Hotels & Motels
6. Outdoor sales of agricultural products
7. Private clubs and lodges
8. Push cart vendors such as flower carts, shoeshine, and properly licensed food vendors.
9. Recycling centers
10. Structures exceeding the maximum height or square footage permitted by this Section.

C. *Site Development Standards*

(1) Parcel Size

No minimums, subject to Design Review as Specified in Section 10.0, Design Review.

(2) Setbacks

No minimums, subject to Design Review as Specified in Section 10.0, Design Review.

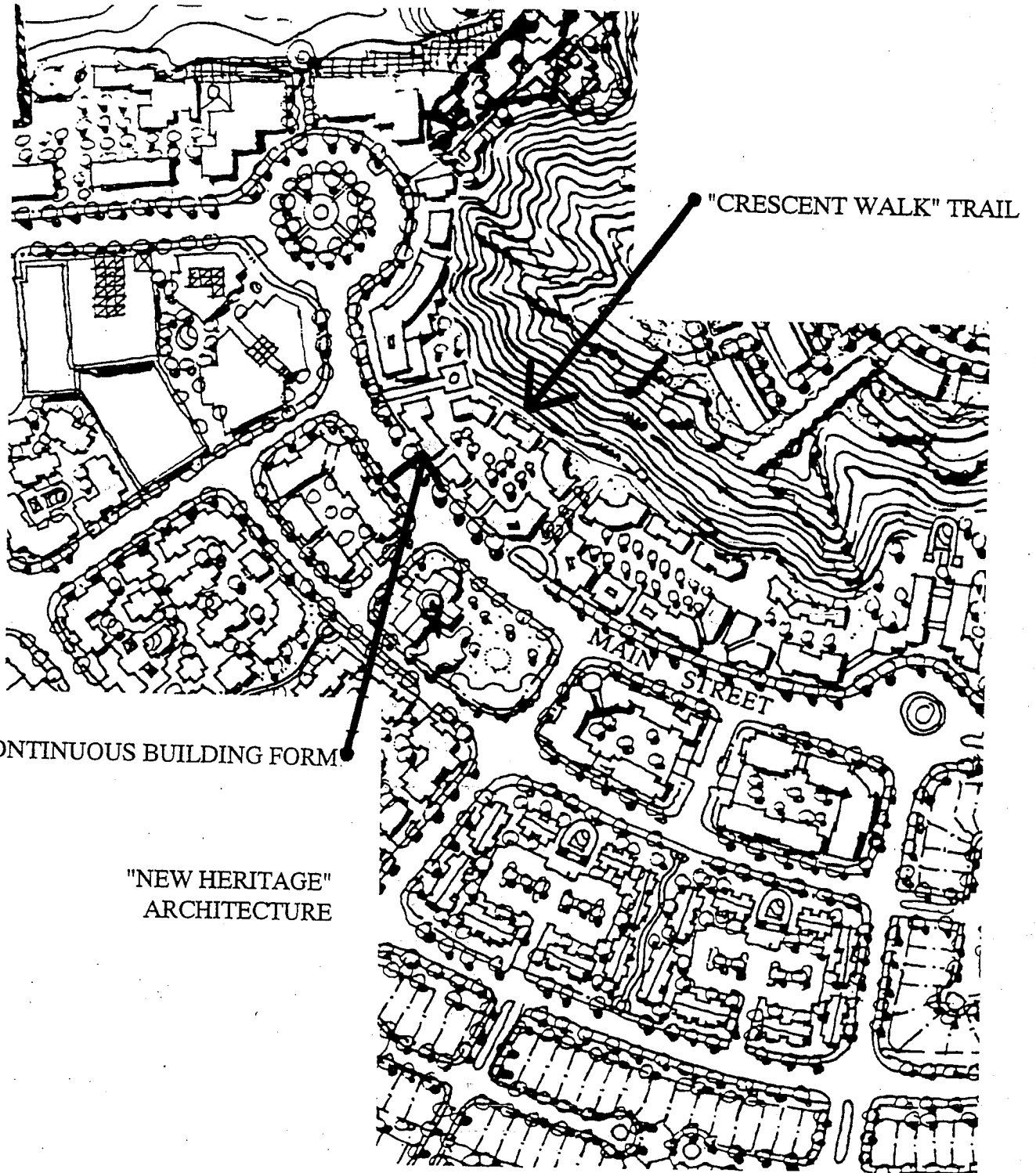
(3) Frontage

No minimums, subject to Design Review as Specified in Section 10.0, Design Review.

(4) Building Height

The maximum building height shall be forty feet, except for architectural features such as towers, cupolas, and other elements that contribute to the overall character of the community, and have a footprint area of less than 300 square feet.

STRUCTURED OR INTERIOR LOT PARKING
ZERO FOOT SETBACK FROM PROPERTY LINE



CONTINUOUS BUILDING FORM

"NEW HERITAGE"
ARCHITECTURE

6.5.2 Soledad Mixed-Use (SC)

The maximum permitted footprint of a structure within this zone shall be 50,000 feet without a conditional use permit. A criteria in granting this conditional use permit shall be that the proposed structure does not overpower nor detract from the Santa Clarita Central Rail Station in prominence, character, scale, or massing.

A. Permitted Uses

The following uses shall be permitted in the Rail Station Mixed Use area. Uses which are not listed as Permitted or Conditional shall be considered Prohibited. Prohibited uses may be reviewed by the Planning Commission for Conditional Use status if so determined by the Community Development Director.

(1) Retail Uses

- a. Apparel stores
- b. Appliance/electronics stores
- c. Bicycle sales and rental shops
- d. Fast food establishments
- e. Food stores, including markets, bakeries, and health food establishments, candy stores.
- f. Florists
- g. Furniture stores
- h. General merchandise stores
- i. Hardware stores
- j. Health and exercise clubs
- k. Hobby supply stores
- l. Home improvement stores
- m. Media shops; including bookstores, newsstands, and video tape/laser disc outlets.

- n. Music stores; including sales of instruments, records, tapes and discs.
- o. Outdoor sale of agricultural products
- p. Plant nurseries & sales
- q. Restaurants and eating places, but excluding drive-ins and drive throughs. Outdoor eating areas, including sidewalk seating which does not interfere with the pedestrian circulation is permitted. The outdoor serving of alcoholic beverages is permitted in private, clearly defined areas.
- r. Specialty food items, such as candy and tobacco stores.
- s. Sporting goods stores.
- t. Other uses consistent with the intent, scale and character of this area.

(2) *Office and Service Uses*

- a. Accountants, advertising agencies, appraisers, attorneys, business and management consultants, economists, public relations consultants, and other professional offices.
- b. Administrative or executive offices of any type of business.
- c. Architects, landscape architects, planners, engineers and surveyors, geologists, industrial designers, graphic designers, and interior designers.
- d. Automobile repair shops, within completely enclosed structures. Garage bays must be oriented away from public view.
- e. Automobile service shops which specialize in quick turn around repairs, such as oil and lubrication, muffler, brake, tire, and similar shops.
- f. Automobile parts stores
- g. Barber shops and beauty salons
- h. Employment agencies, travel agencies, and airline ticket agencies.

- i. Financial institutions, including banks, savings and loan associations, finance companies and credit unions. This does not including institutions primarily involved in check cashing.
- j. Insurance brokers and services, investment brokers, real estate brokers and offices, and title and escrow companies.
- k. Office supply and stationery stores
- l. Personal service establishments; including dry cleaning and tailors.
- m. Prescription pharmacies
- n. Quick copy and printing establishments
- o. Small appliance repair, watch and jewelry repair, shoe repair and similar.
- p. Transportation station, multi-modal transportation facility
- q. Other uses consistent with the intent of this area.

B. Uses Subject to a Conditional Use Permit

Certain uses, while similar to the Permitted uses, may adversely affect surround properties and require additional consideration. Such uses shall require a conditional Use Permit. These uses include the following:

- 1. Automobile rental agencies
- 2. Gas Stations, subject to the provisions of this sections regarding Gas Stations
- 3. Child day-care centers
- 4. Commercial bus carrier station
- 5. Outdoor sale of agricultural products
- 6. Recycling centers
- 7. Structures exceeding the maximum height or square footage permitted by this Section.

C. *Site Development Standards*

(1) Parcel Size

No minimums, subject to Design Review as Specified in Section 10.0, Design Review.

(2) Setbacks

No minimums, subject to Design Review as Specified in Section 10.0, Design Review.

(3) Frontage

No minimums, subject to Design Review as Specified in Section 11.0, Design Review.

(4) Building Height

The maximum building height shall be thirty five feet, except for architectural features such as towers, cupolas, and other elements that contribute to the overall character of the community, and have a footprint are of less than 300 square feet. The maximum height for the train station shall be 45 feet.

(5) Landscape Improvements

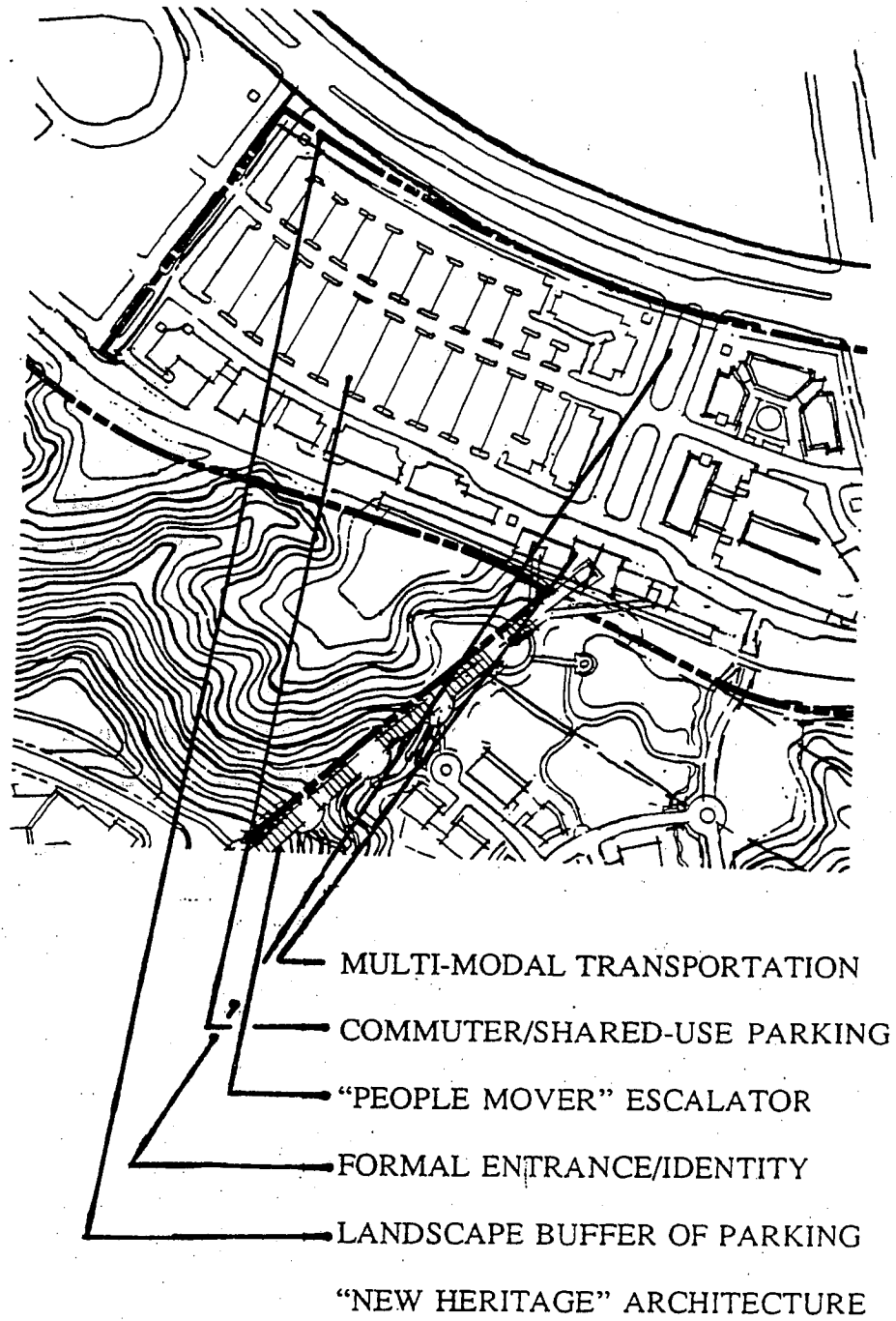
The provisions of Section 5.0, Landscape Regulations, shall be used to determine the landscape requirements for development in the Rail Station Mixed Use Area.

(6) Parking

The provisions of Section 7.0, Parking Regulations, shall be used to determine the parking for development in the Soledad Mixed Use area. Parking within this area and with convenient access to the escalator system may be utilized for shared parking uses in conjunction with the Town Center District.

(7) Signage

The provisions of Section 8.0, Signage Regulations, shall be used to determine the signage for development in the Soledad District Mixed-Use.



6.5.3 Neighborhood Commercial

The maximum footprint of a structure in this area shall be 60,000 square feet, unless a conditional use permit is granted which allows a greater footprint.

A. Permitted Uses

The following uses shall be permitted in the Commercial Neighborhood area. Uses which are not listed as Permitted or Conditional shall be considered Prohibited. Prohibited uses may be reviewed by the Planning Commission for Conditional Use status if so determined by the Community Development Director.

(1) Retail Uses

- a. Fast food establishments
- b. Food stores, including markets, bakeries, and health food establishments, candy stores.
- c. Florists
- d. General merchandise stores
- e. Hardware stores
- f. Health and exercise clubs
- g. Hobby supply stores
- h. Media shops; including bookstores, newsstands, and video tape/laser disc outlets.
- i. Music stores; including sales of instruments, records, tapes and discs.
- j. Pharmacies
- k. Restaurants and eating places, but excluding drive-ins and drive throughs. Outdoor eating areas, including sidewalk seating which does not interfere with the pedestrian circulation is permitted. The outdoor serving of alcoholic beverages is permitted in private, clearly defined areas.

1. Other uses consistent with the intent, scale and character of this area.

(2) *Office and Service Oriented Uses*

- a. Automobile parts stores
- b. Barber shops and beauty salons
- c. Employment agencies, travel agencies, and airline ticket agencies.
- d. Financial institutions, including banks, savings and loan associations, finance companies and credit unions. This does not including institutions primarily involved in check cashing.
- e. Personal service establishments; including dry cleaning and tailors.
- f. Quick copy and printing establishments
- g. Small appliance repair, watch and jewelry repair, shoe repair and similar.
- h. Other uses consistent with the intent of this area.

B. *Uses Subject to a Conditional Use Permit*

Certain uses, while similar to the Permitted uses, may adversely affect surrounding properties and require additional consideration. Such uses shall require a conditional Use Permit. These uses include the following:

1. Gas Stations, subject to the provisions of this sections regarding Gas Stations
2. Recycling centers
3. Structures exceeding the maximum height or square footage permitted by this Section.

C. Site Development Standards

(1) Parcel Size

No minimums, subject to Design Review as Specified in Section 10.0, Design Review.

(2) Setbacks

No minimums, subject to Design Review as Specified in Section 10.0, Design Review.

(3) Frontage

No minimums, subject to Design Review as Specified in Section 10.0, Design Review.

(4) Building Height

The maximum building height shall be thirty-five feet, except for architectural features such as towers, cupolas, and other elements that contribute to the overall character of the community, and have a footprint are of less than 300 square feet.

(5) Landscape Improvements

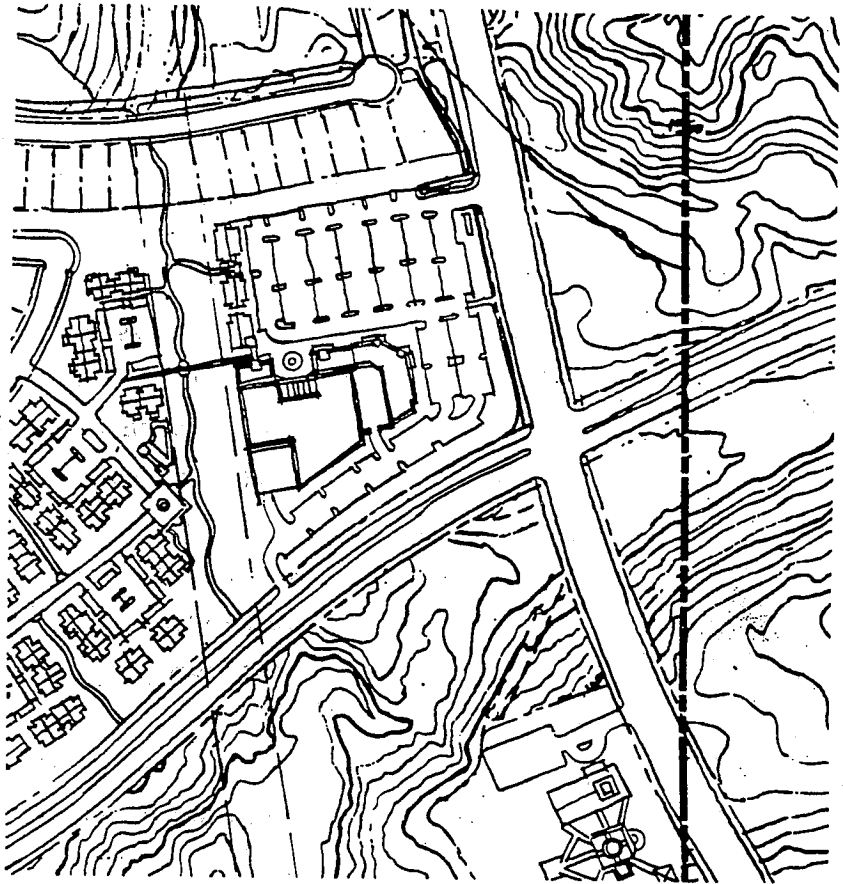
The provisions of Section 5.0, Landscape Regulations, shall be used to determine the landscape requirements for development in the Neighborhood Commercial area.

(6) Parking

The provisions of Section 7.0, Parking Regulations, shall be used to determine the parking for development in the Neighborhood Commercial area.

(7) Signage

The provisions of Section 8.0, Signage Regulations, shall be used to determine the signage for development in the Neighborhood Commercial area.



PEDESTRIAN CONNECTION TO RESIDENTIAL
AESTHETIC RELATION TO SURROUNDING AREA
"NEW HERITAGE" ARCHITECTURE

6.5.4 Office Park

The Office Park area is intended to provide office facilities within close proximity to the Town Center and Soledad Mixed-Use centers.

A. *Permitted Uses*

The following uses shall be permitted in the Office Park area. Uses which are not listed as Permitted or Conditional shall be considered Prohibited. Prohibited uses may be reviewed by the Planning Commission for Conditional Use status if so determined by the Community Development Director.

(1) *Retail Uses*

- a. Media shops; including bookstores and newsstands
- b. Other uses consistent with the intent, scale and character of this area.

2. *Office and Service Uses.*

- a. Accountants, advertising agencies, appraisers, attorneys, business and management consultants, economists, public relations consultants, and other professional offices.
- b. Administrative or executive offices of any type of business.
- c. Architects, landscape architects, planners, engineers and surveyors, geologists, industrial designers, graphic designers, and interior designers.
- d. Employment agencies, travel agencies, and airline ticket agencies.
- e. Financial institutions, including banks, savings and loan associations, finance companies and credit unions. This does not include institutions primarily involved in check cashing.
- f. Health clubs

- g. Insurance brokers and services, investment brokers, real estate brokers and offices, and title and escrow companies.
- h. Office supply and stationery stores
- i. Parking structure
- j. Quick copy and printing establishments
- k. Other uses consistent with the intent of this area.

B. Uses Subject to a Conditional Use Permit

Certain uses, while similar to the Permitted uses, may adversely affect surrounding properties and require additional consideration. Such uses shall require a conditional Use Permit. These uses include the following:

- 1 Child day-care centers
- 2 Structures exceeding the maximum height permitted by this Section.

C. Site Development Standards

(1) Parcel Size

No minimums, subject to Design Review as Specified in Section 10.0, Design Review.

(2) Setbacks

No minimums, subject to Design Review as Specified in Section 10.0, Design Review.

(3) Frontage

No minimums, subject to Design Review as Specified in Section 10.0, Design Review.

(4) Building Height

For buildings in Office Park Near Rail Station:

The maximum building height shall be 65 feet, except for architectural features such as towers, cupolas, and other elements that contribute to the overall character of the community, and have a footprint area of less than 300 square feet.

For buildings in Office Park in the Town Center District:

The maximum height building height shall be 45 feet, except for architectural features such as towers, cupolas, and other elements that contribute to the overall character of the community, and have a footprint area of less than 300 square feet.

(5) Landscape Improvements

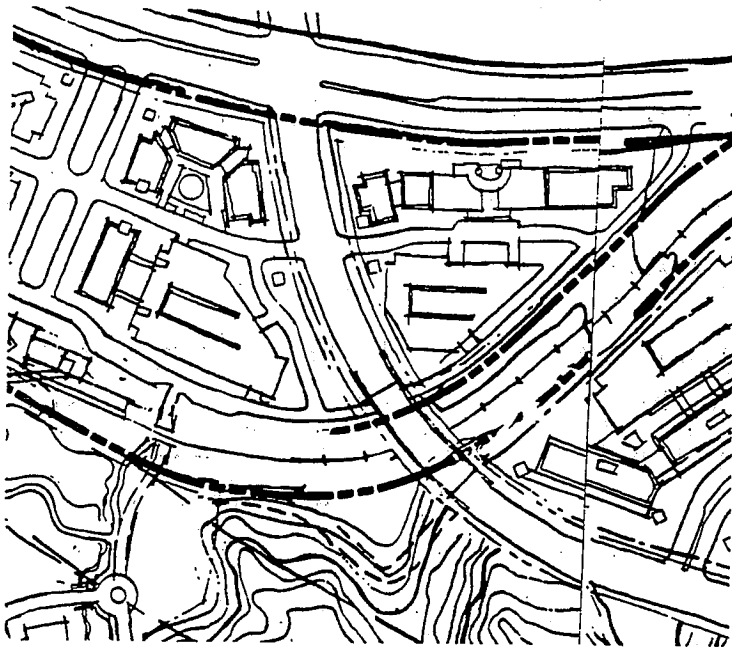
The provisions of Section 5.0, Landscape Regulations, shall be used to determine the landscape requirements for development in the Office Park Area.

(6) Parking

The provisions of Section 7.0, Parking Regulations, shall be used to determine the parking for development in the Office Park Area.

(7) Signage

The provisions of Section 8.0, Signage Regulations, shall be used to determine the signage for development in the Office Park.



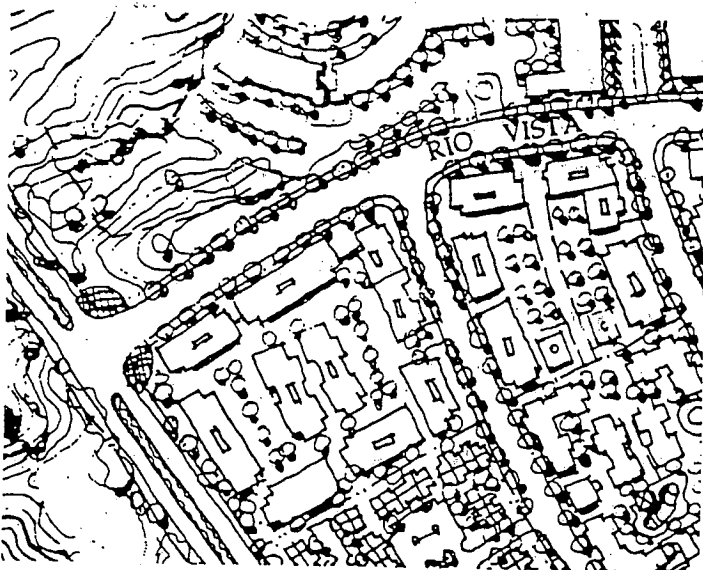
SOLEDAD DISTRICT

TALLER BUILDINGS

STRUCTURED OR INTERIOR LOT PARKING

COMPLIMENT RAIL STATION

"NEW HERITAGE" ARCHITECTURE



TOWN CENTER DISTRICT

ZERO-FOOT SETBACK FROM PROPERTY LINE

CONTINUOUS BUILDING FORM

STRUCTURED OR INTERIOR LOT PARKING

"NEW HERITAGE" ARCHITECTURE

6.5.5 *Business Park*

The Business Park land use area is intended to permit light to medium manufacturing and limited large scale retail.

A. *Permitted Uses*

The following uses shall be permitted in the Business Park area. Uses which are not listed as Permitted or Conditional shall be considered Prohibited. Prohibited uses may be reviewed by the Planning Commission for Conditional Use status if so determined by the Community Development Director.

(1) *Light Industrial*

- a. Light wholesale, storage and distribution
- b. Custom manufacturing and assemble
- c. Light manufacturing and assembly
- d. Business support services
- e. Automotive rental agency car storage lots
- f. Wholesale/retail sales of goods produced on-site
- g. Auto and light truck repair - minor
- h. Public facilities and utilities
- i. Warehousing and distribution

(2) *Retail*

- a. Within the 12.00 acre Business Park area adjacent to Santa Clarita Parkway, the regionally oriented retail sales of bulk merchandise, outlet, discount and similar merchandising is permitted.

B. Uses Subject to a Conditional Use Permit

Certain uses, while similar to the Permitted uses, may adversely affect surrounding properties and require additional consideration. Such uses shall require a conditional Use Permit. These uses include the following:

1. Caretaker's residence
2. Animal kennel
3. Structures exceeding the maximum height permitted by this Section.

C. Site Development Standards

(1) Parcel Size

One-half acre minimum.

(2) Setbacks

No minimums, subject to Design Review as Specified in Section 10.0, Design Review.

(3) Frontage

No minimums, subject to Design Review as Specified in Section 10.0, Design Review.

(4) Building Height

Thirty-five feet (35) maximum height.

(5) Landscape Improvements

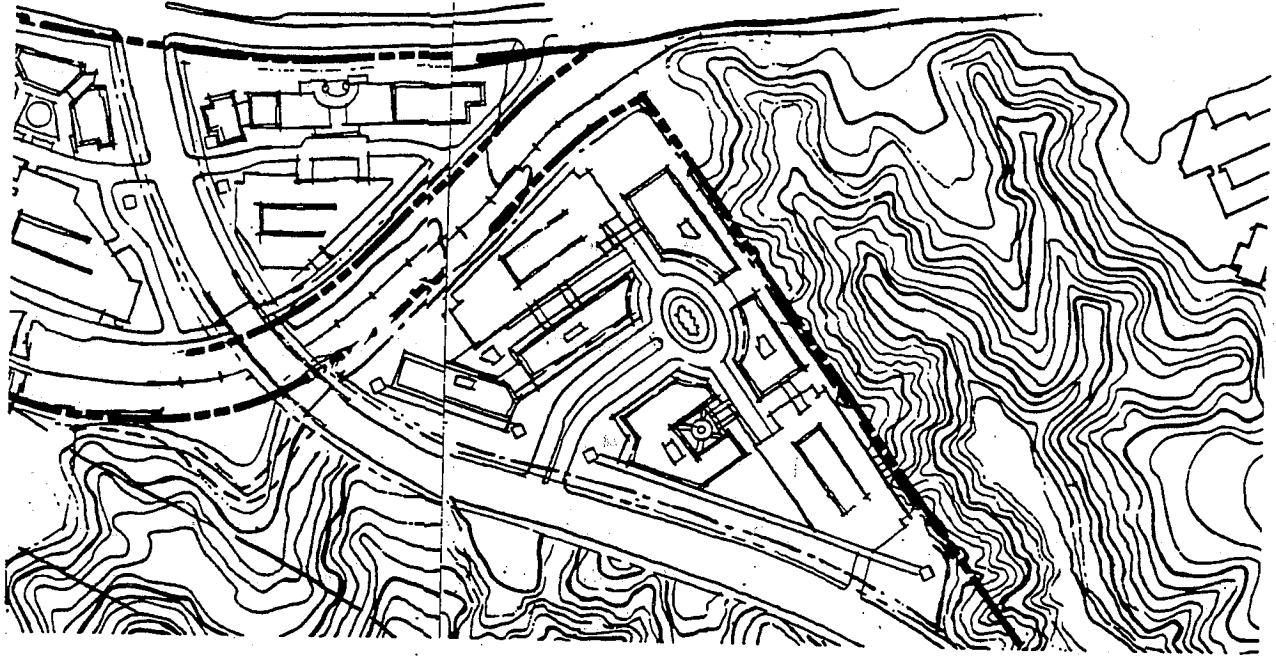
The provisions of Section 5.0, Landscape Regulations, shall be used to determine the landscape requirements for development in the Business Park Area.

(6) Parking

The provisions of Section 7.0, Parking Regulations, shall be used to determine the parking for development in the Business Park Area.

(7) Signage

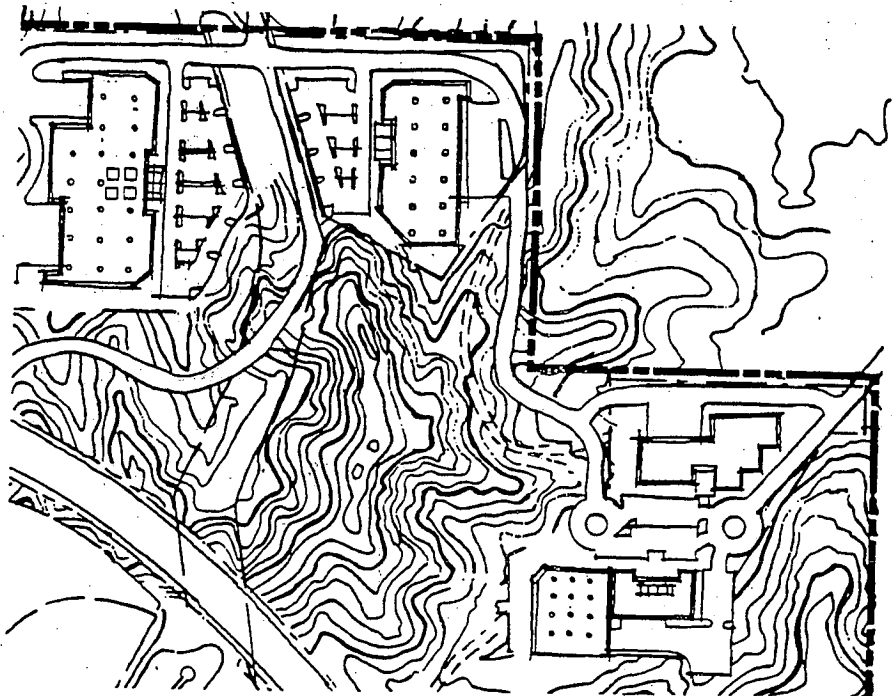
The provisions of Section 8.0, Signage Regulations, shall be used to determine the signage for development in the Business Park.



STRUCTURAL RELATIONSHIP TO PARKWAY

INTERIOR LOT OR BUFFERED PARKING

NATURAL LANDSCAPE BACKGROUND



6.5.6 Institutional

The Institutional land use area is intended for uses which have a public or community orientation or benefit, such as non-profit clubs, meeting hall, fire station or house of worship, or similar.

A. Permitted Uses

The following uses shall be permitted in the Institutional area. Uses which are not listed as Permitted or Conditional shall be considered Prohibited. Prohibited uses may be reviewed by the Planning Commission for Conditional Use status if so determined by the Community Development Director.

(1) Institutional

- a. Non-profit meeting halls or clubs
- b. Day care center
- c. Private or parochial school
- d. Fire station
- e. House of worship
- f. Other uses consistent with the intended use of this Section.

B. Uses Subject to a Conditional Use Permit

Certain uses, while similar to the Permitted uses, may adversely affect surrounding properties and require additional consideration. Such uses shall require a conditional Use Permit. These uses include the following:

- 1. Structures exceeding the maximum height permitted by this Section.

C. Site Development Standards

(1) Parcel Size

Four acre minimum.

(2) Setbacks

No minimums, subject to Design Review as Specified in Section 10.0, Design Review.

(3) Frontage

No minimums, subject to Design Review as Specified in Section 10.0, Design Review.

(4) Building Height

Thirty-five feet (35) maximum height.

(5) Landscape Improvements

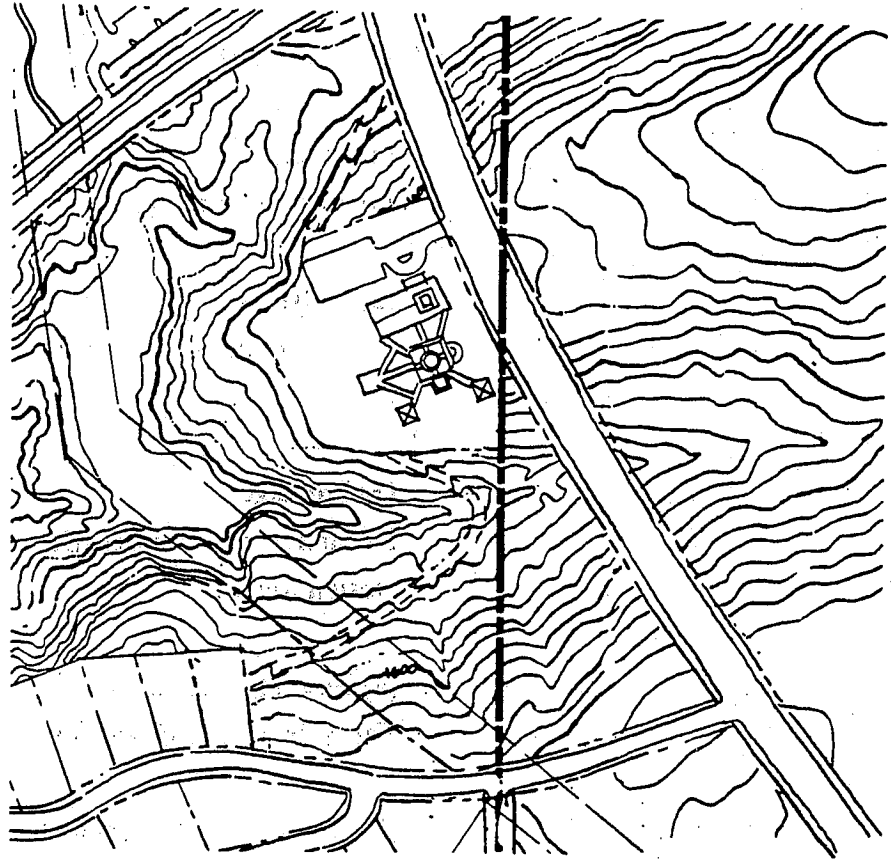
The provisions of Section 5.0, Landscape Regulations, shall be used to determine the landscape requirements for development in the Institutional Area.

(6) Parking

The provisions of Section 7.0, Parking Regulations, shall be used to determine the parking for development in the Institutional Area.

(7) Signage

The provisions of Section 8.0, Signage Regulations, shall be used to determine the signage for development in the Institutional.



"NEW HERITAGE" ARCHITECTURE

LANDMARK LOCATION

AESTHETIC RELATION TO SURROUNDING AREAS

6.5.7 School

The School land use area is intended for the use as an elementary school with playfields. If the School Area opts not to utilize the property for an elementary school, the property may be utilized Institutional or Multi-Family residential purposes (MF-22). The development provisions of those land use areas will then apply.

A. Permitted Uses

The following uses shall be permitted in the School land use area. Uses which are not listed as Permitted or Conditional shall be considered Prohibited. Prohibited uses may be reviewed by the Planning Commission for Conditional Use status if so determined by the Community Development Director.

- a. Public school and accessory facilities

B. Uses Subject to a Conditional Use Permit

Certain uses, while similar to the Permitted uses, may adversely affect surrounding properties and require additional consideration. Such uses shall require a conditional Use Permit. These uses include the following:

- 1. Structures exceeding the maximum height permitted by this Section.

C. Site Development Standards

- (1) Parcel Size
Ten (10) acre minimum

(2) Setbacks

No minimums, subject to Design Review as Specified in Section 10.0, Design Review.

(3) Frontage

No minimums, subject to Design Review as Specified in Section 10.0, Design Review.

(4) Building Height

Forty feet maximum. Areas of the school which are traditionally taller, such as the gymnasium, natatorium or theater may exceed the height requirement as determined necessary by the City Planner.

(5) Landscape Improvements

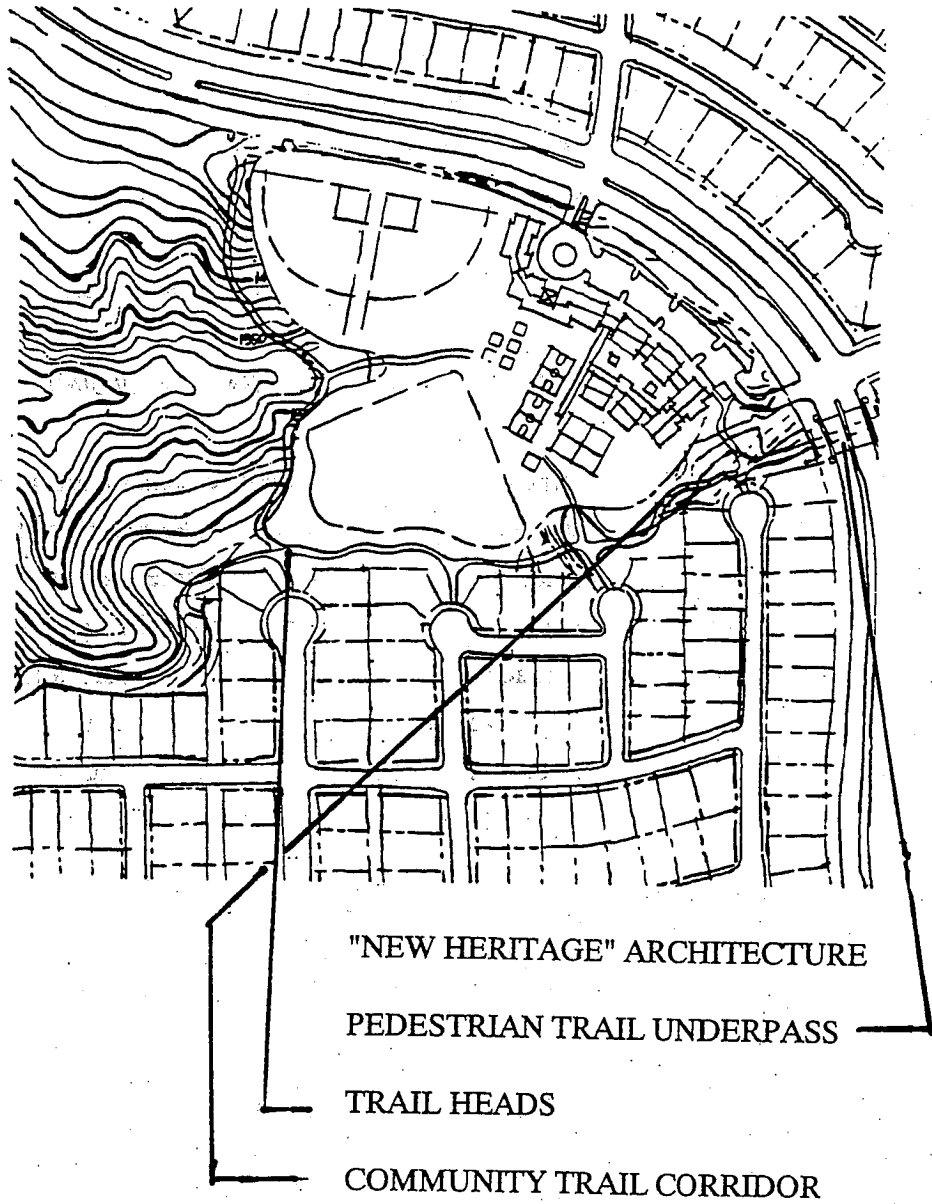
The provisions of Section 5.0, Landscape Regulations, shall be used to determine the landscape requirements for development in the School land use area.

(6) Parking

The provisions of Section 7.0, Parking Regulations, shall be used to determine the parking for development in the School area.

(7) Signage

The provisions of Section 8.0, Signage Regulations, shall be used to determine the signage for development in the School.



6.6 Residential Land Use Standards

The following paragraphs detail the permitted and conditional land uses and development standards within the individual districts. If a use is not listed as permitted or conditional, it shall be considered to be prohibited. At the discretion of the Community Development Director, uses which are prohibited may be reviewed by the Planning Commission for a Conditional Use status.

6.6.1 Single Family 10,000 (SF 10,000)

Homes within this area may be constructed as either custom or tract. The design of this area is intended to reflect the existing scale of the adjacent large lot community. Parcelization of lots in this community include only the generally buildable pad areas, which does not encroach into the canyon area. This derivation from the established pattern was done in an effort to ensure that the canyon would enjoy the protection of the Open Space land use designation, rather than potential disturbance under private ownership.

The following regulations apply:

A. Uses Permitted

- (1) Single family detached home
- (2) Open space, parks & trails
- (3) Neighborhood recreation facilities and buildings

B. Accessory Uses Permitted

- (1) Garages and carports, in compliance with site development standards provided herein.
- (2) Fences, walls & trellises
- (3) Swimming pools

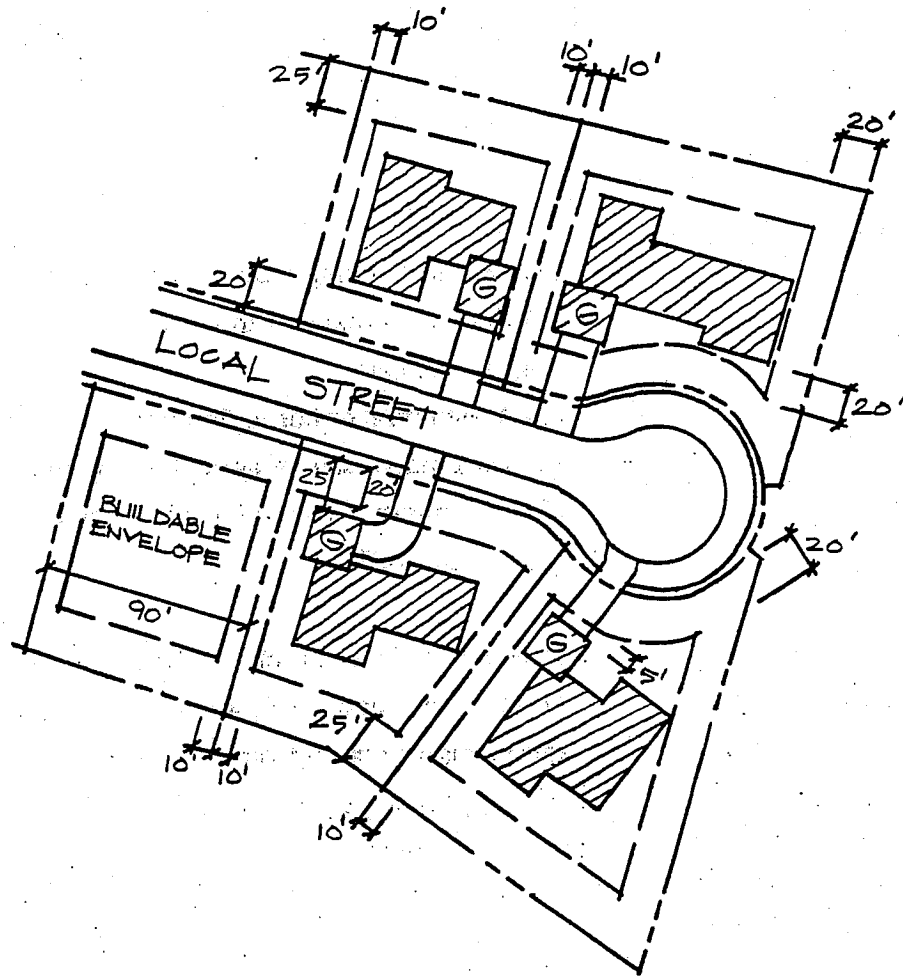
(4) Accessory uses and structures necessary or customarily incidental to a principal use as determined by the Community Development Director.

C. Uses Subject to a Conditional Use Permit

- (1) Second dwelling units (Granny Flats)
- (2) Keeping of exotic birds or animals, or more than three weaned dogs and/or cats.
- (3) Agricultural or horticultural uses for commercial purposes.
- (4) The outdoor sale of agricultural products.
- (5) Community recreation facilities and buildings.
- (6) In-home office

D. Site Development Standards

- (1) Minimum lot area: 10,000 square feet, minimum; it is intended that lots in this area range from 10,000 to 14,000 square feet. May exceed this range if slopes are present.
- (2) Minimum lot width: 90 feet minimum average width at midpoint depth.
- (3) Building coverage: 40% maximum.
- (4) Building setbacks: front yard 20 feet minimum; garage 25 feet minimum; interior side yard, 5 feet minimum on one side, 10 feet minimum on the other, corner (frontage) side yard, 20 feet; rear yard, 25 feet minimum. Zero lot lines for detached rear yard garages.
- (5) Building height: 35 foot maximum. No exterior wall plane shall measure more than 25 feet vertical.



6.6.2 Single Family 8,000 (SF 8,000)

Homes within this area will be constructed as either custom or tract homes. Individual lot sizes are intended to be 8,000 square feet. The following standards shall apply:

A. Uses Permitted

- (1) Single family detached home
- (2) Open space, parks & trails
- (3) Neighborhood recreation facilities and buildings

B. Accessory Uses Permitted

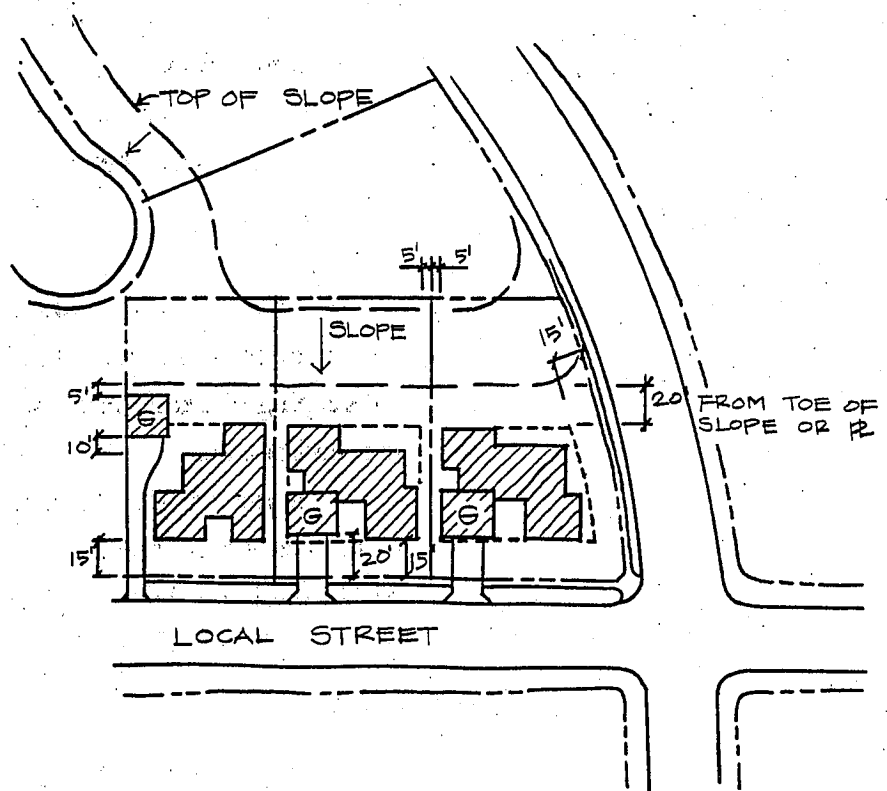
- (1) Garages and carports, in compliance with site development standards provided herein.
- (2) Fences, walls & trellises
- (3) Swimming pools
- (4) Accessory uses and structures necessary or customarily incidental to a principal use as determined by the Community Development Director.

C. Uses Subject to a Conditional Use Permit

- (1) Second dwelling units (Granny Flats)
- (2) Keeping of exotic birds or animals, or more than three weaned dogs and/or cats.
- (3) Community recreation facilities and buildings.
- (4) Private or parochial school
- (5) The outdoor sale of agricultural products
- (6) Day care center

D. Site Development Standards

- (1) Minimum lot area: 8,000 square feet, minimum; it is intended that residential lots in this area range from 8,000 to 9,000 square feet. May exceed this range if slopes are present.
- (2) Minimum lot width: 60 feet minimum average width at midpoint.
- (3) Building coverage: 50% maximum
- (4) Building setbacks: front yard 15 feet minimum, garage 20 feet minimum; interior side yard, 5 feet minimum, corner (frontage) side yard, 15 feet; rear yard, 20 feet minimum. Zero lot lines for rear yard detached garages. Shared driveways are permitted to access rear yard garages.
- (5) Building height: 25 foot maximum. No exterior wall plane shall measure more than 25 feet vertical.



6.6.3 Single Family 6,000 (SF 6,000)

There are three SF 6,000 areas within the community. The following regulations apply:

A. Uses Permitted

- (1) Single family detached home
- (2) Open space, parks & trails
- (3) Neighborhood recreation facilities and buildings

B. Accessory Uses Permitted

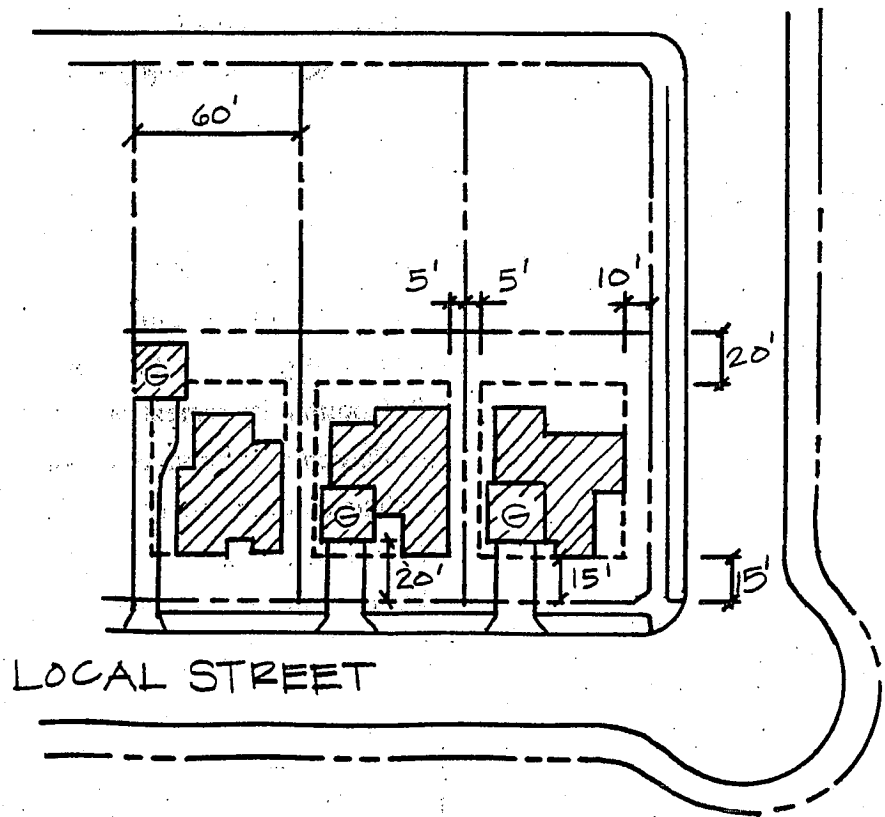
- (1) Garages and carports, in compliance with site development standards provided herein.
- (2) Fences, walls & trellises
- (3) Swimming pools
- (4) Accessory uses and structures necessary or customarily incidental to a principal use as determined by the Community Development Director.

C. Uses Subject to a Conditional Use Permit

- (1) Second dwelling units (Granny Flats)
- (2) Keeping of more than three weaned dogs and/or cats.
- (3) Community recreation facilities and buildings.
- (4) Parochial or private schools.
- (5) The outdoor sale of agricultural products.
- (6) In-home office
- (7) Day care center

D. Site Development Standards

- (1) Minimum lot area: 6,000 square feet, minimum; it is intended that residential lots in this area range from 6,000 to 7,000 square feet. May exceed this range if slopes are present.
- (2) Minimum lot width: 50 feet minimum average width at midpoint.
- (3) Building coverage: 50% maximum
- (4) Building setbacks: front yard 15 feet minimum, garage 20 feet minimum; interior side yard, 5 feet minimum, corner (frontage) side yard, 10 feet; rear yard, 20 feet minimum. Zero lot lines for rear yard detached garages. Shared driveways are permitted to access rear yard garages.
- (5) Building height: 25 foot maximum. No exterior wall plane shall measure more than 25 feet vertical.



6.6.4 Single Family 4,000 (SF 4,000)

There are three areas within the community which are designated as SF 4,000. The following regulations apply:

A. Uses Permitted

- (1) Single Family Detached Home
- (2) Zero lot line dwelling
- (3) Open space, parks & trails
- (4) Neighborhood Recreation Facilities and Buildings

B. Accessory Uses Permitted

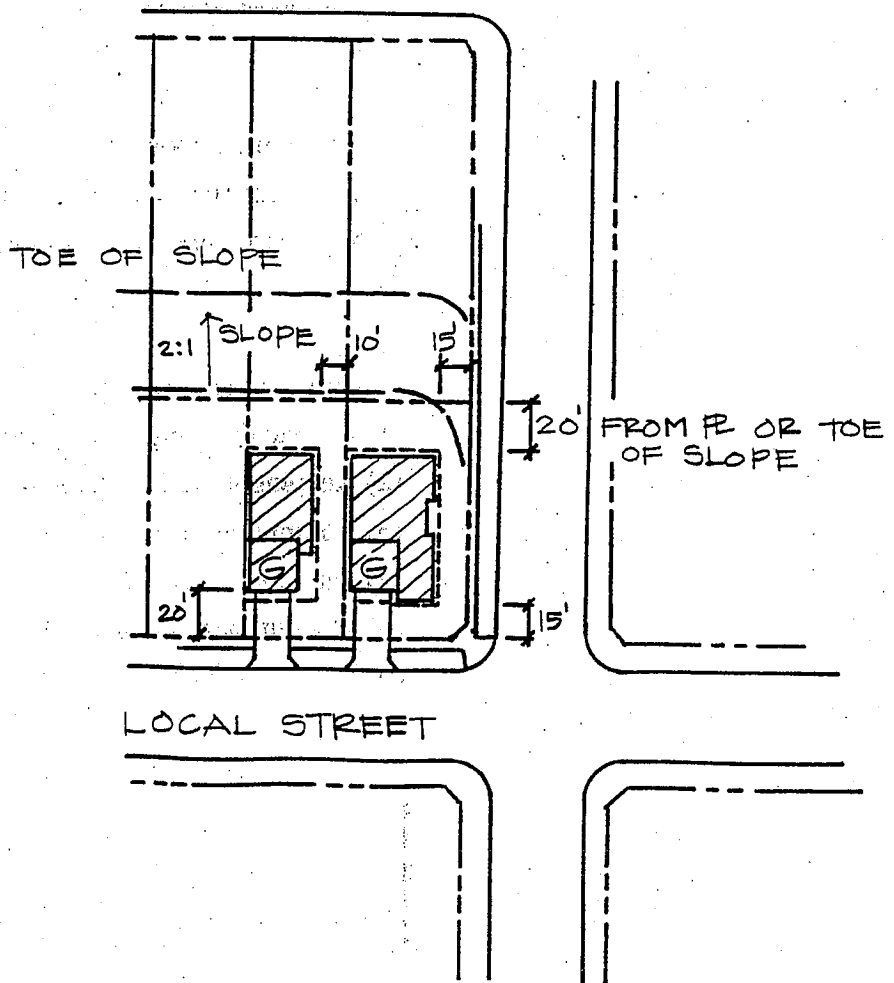
- (1) Garages and carports, in compliance with site development standards provided herein.
- (2) Fences, walls & trellises
- (3) Swimming pools
- (4) Accessory uses and structures necessary or customarily incidental to a principal use as determined by the Community Development Director.

C. Uses Subject to a Conditional Use Permit

- (1) Second dwelling units (Granny Flats)
- (2) Keeping more than three weaned dogs and/or cats
- (3) Community recreation facilities and buildings
- (4) Parochial or private schools
- (5) The outdoor sale of agricultural products
- (6) In-home office

D. Site Development Standards

- (1) Minimum lot area: 4,000 square feet, minimum, it is intended that residential lots in this area range from 4,000 square feet to 5,000 square feet. May exceed this range if slope is present.
- (2) Minimum lot width: 40 feet minimum average width
- (3) Building coverage: 50% maximum
- (4) Building setbacks: front yard, 15 feet minimum, 20 feet for garage; side yard, zero feet minimum, provided that the combined setbacks from both the side property lines on any building site shall total not less than ten feet; rear yard, 20 feet.
- (5) Building height: 35 foot maximum. No exterior wall plane shall measure more than 25 feet vertical.



6.6.5 Paired Single Family Residential (SFP)

The following regulations are applicable for these areas:

A. Uses Permitted

- (1) Single family attached homes (paired)
- (2) Open space, parks & trails
- (3) Neighborhood recreation facilities and buildings
- (4) Zero lot line

B. Accessory Uses Permitted

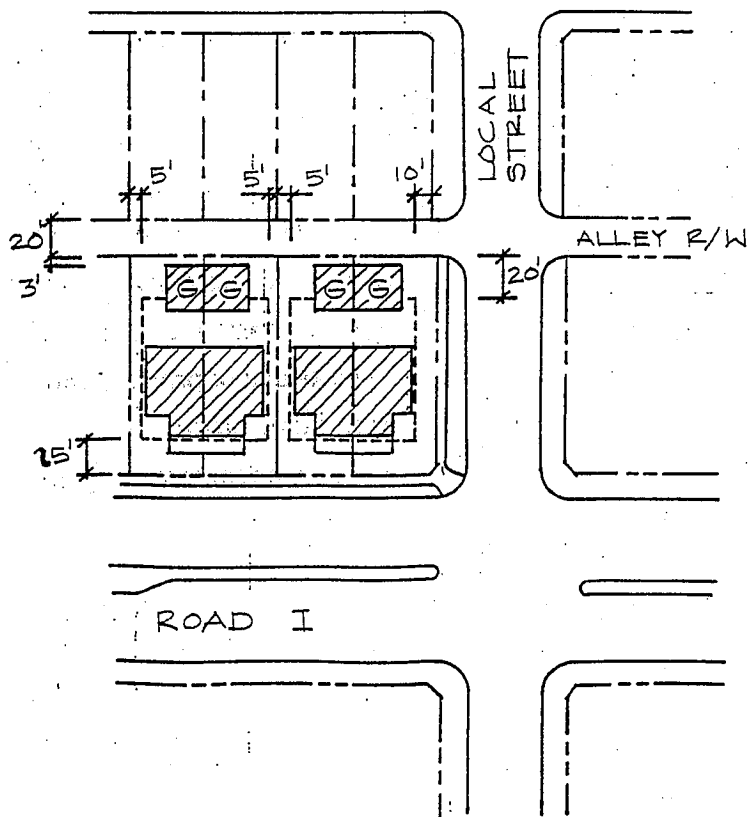
- (1) Garages and carports, in compliance with site development standards provided herein.
- (2) Fences, walls & trellises
- (3) Swimming pools
- (4) Accessory uses and structures necessary or customarily incidental to a principal use as determined by the City Planner.

C. Uses Subject to a Conditional Use Permit

- (1) Second dwelling units (Granny Flats)
- (2) Keeping more than three weaned dogs and/or cats
- (3) Community recreation facilities and buildings
- (4) Parochial or private schools
- (5) In-home office
- (6) The outdoor sale of agricultural products

D. Site Development Standards

- (1) Minimum lot area: 3,600 square feet, minimum. May vary if slopes are present.
- (2) Minimum lot width: 35 feet minimum average width at midpoint depth.
- (3) Building coverage: 50% maximum
- (4) Building setbacks: front yard, 25 feet minimum; side yard, zero feet one side, five feet the other provided that one side of the structure has a 10' minimum clearance; rear yard, twenty feet; Access to the garage from an alley, a rear-yard setback of three feet from property line is permitted. Garage shall be installed with an automatic garage door opener.
- (5) Building height: 35 foot maximum. No exterior wall plane shall measure more than 25 feet vertical.



6.6.6 Multi-family Residential (MF-10)

The following regulations are applicable for this area.

A. Uses Permitted:

- (1) Multiple-family dwellings
- (2) Private recreation facilities and buildings
- (3) Open space, parks & trails

B. Accessory Uses Permitted:

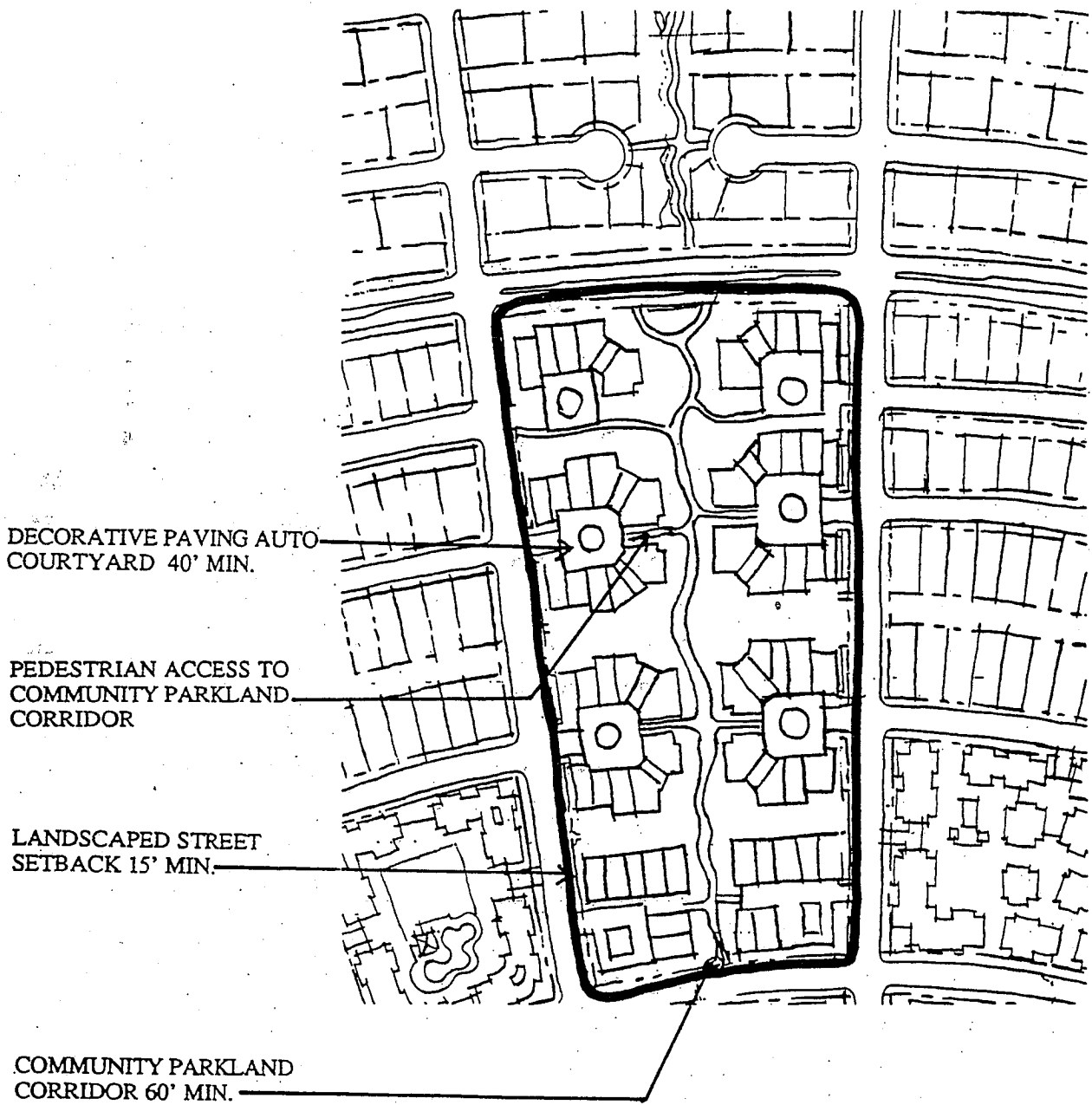
- (1) Garages and carports, in compliance with site development standards provided herein
- (2) Fences, walls and trellises
- (3) Swimming pools
- (4) Neighborhood recreational facilities and structures
- (5) Accessory uses and structures necessary or customarily incidental to a principal use

C. Uses Subject to a Conditional Use Permit:

- (1) Family day care homes
- (2) Keeping more than two weaned dogs or cats
- (3) Parochial or private schools
- (4) Convalescent, retirement, rest homes, sanitariums or similar congregate care facilities
- (5) Private or non-profit clubs
- (6) The outdoor sale of agricultural products

D. Site Development Standards:

- (1) Minimum Site Area: No minimum
- (2) Minimum Site Width: No minimum
- (3) Building Site Coverage: 60% maximum
- (4) Building Setbacks: street frontage, 15 foot minimum
- (5) Building Height: 40 feet, maximum; for towers, cupolas, and other building elements which have a floor area of less than 250 square feet, 65 feet.
- (6) Landscape: Required for common areas and parking lots.
- (7) Public Open Space: A minimum 60 foot community parkland corridor will evenly bisect the MF 10 area. Access to this parkland must be provided from exterior public streets as indicated in Section 5.0, Master Landscape Plan (Special Considerations, MF10).
- (8) Minimum distance of opening through buildings to parkland corridor from streets shall be 20'
- (9) Motor courtyard minimum width of 40'; motor courtyards shall be used as access and plaza use only, no parking.
- (10) Guest Parking spaces as required may be located in angled parking areas on public right-of-way.



DECORATIVE PAVING AUTO
COURTYARD 40' MIN.

PEDESTRIAN ACCESS TO
COMMUNITY PARKLAND
CORRIDOR

LANDSCAPED STREET
SETBACK 15' MIN.

COMMUNITY PARKLAND
CORRIDOR 60' MIN.

6.6.7 Multi-family Residential (MF-12)

The following regulations are applicable for this area.

A. Uses Permitted:

- (1) Multiple-family dwellings
- (2) Private recreation facilities and buildings
- (3) Open space, parks & trails

B. Accessory Uses Permitted:

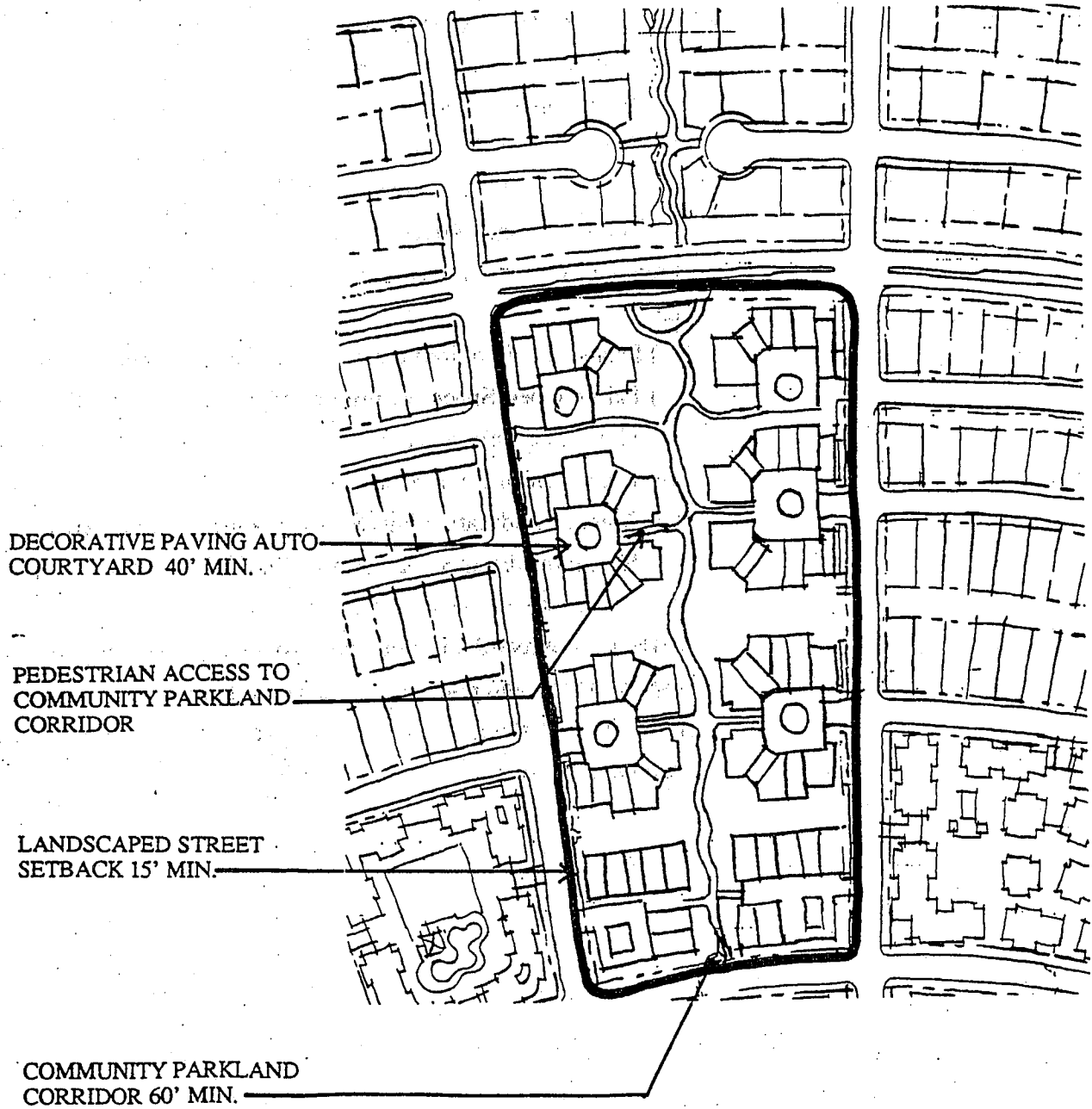
- (1) Garages and carports, in compliance with site development standards provided herein
- (2) Fences, walls and trellises
- (3) Swimming pools
- (4) Neighborhood recreational facilities and structures
- (5) Accessory uses and structures necessary or customarily incidental to a principal use

C. Uses Subject to a Conditional Use Permit:

- (1) Family day care homes
- (2) Keeping more than two weaned dogs or cats
- (3) Parochial or private schools
- (4) Convalescent, retirement, rest homes, sanitariums or similar congregate care facilities
- (5) Private or non-profit clubs
- (6) The outdoor sale of agricultural products

D. Site Development Standards:

- (1) Minimum Site Area: No minimum
- (2) Minimum Site Width: No minimum
- (3) Building Site Coverage: 60% maximum
- (4) Building Setbacks: street frontage, 15 foot minimum
- (5) Building Height: 40 feet, maximum; for towers, cupolas, and other building elements which have a floor area of less than 250 square feet, 65 feet.
- (6) Landscape: Required for common areas and parking lots.
- (7) Public Open Space: A minimum 60 foot community parkland corridor will evenly bisect the MF 12 area. Access to this parkland must be provided from exterior public streets as indicated in Section 5.0, Master Landscape Plan (Special Considerations, MF12).
- (8) Minimum distance of opening through buildings to parkland corridor from streets shall be 20'
- (9) Motor courtyard minimum width of 40'; motor courtyards shall be used as access and plaza use only, no parking.
- (10) Guest Parking spaces as required may be located in angled parking areas on public right-of-way.



6.6.8 Multi-family Residential (MF-18)

The following regulations are applicable for these areas:

A. Uses Permitted:

- (1) Multiple-family dwellings
- (2) Private recreation facilities and buildings
- (3) Open space, parks & trails

B. Accessory Uses Permitted:

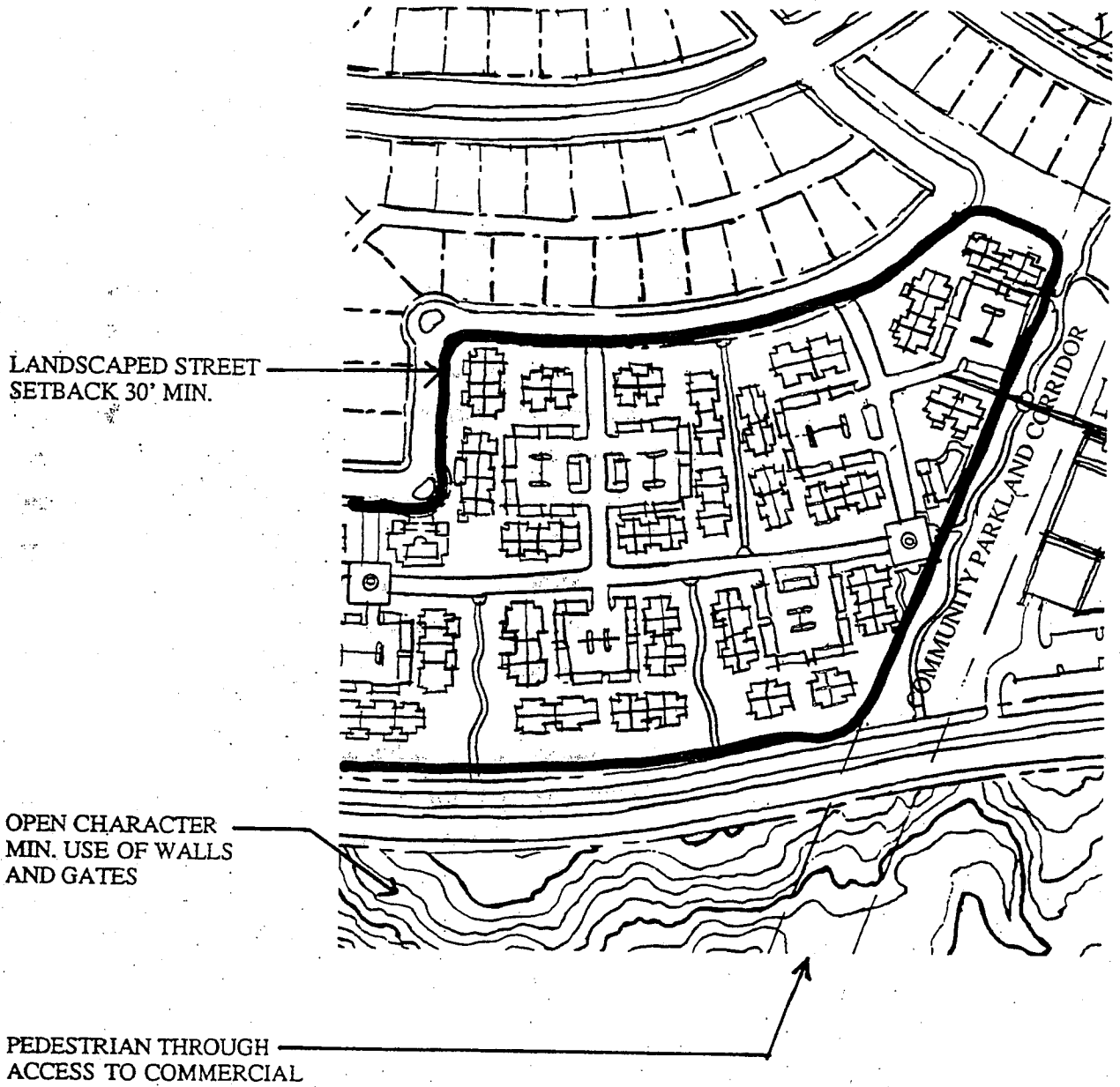
- (1) Garages and carports, in compliance with site development standards provided herein
- (2) Fences, walls and trellises
- (3) Swimming pools
- (4) Neighborhood recreational facilities and structures
- (5) Accessory uses and structures necessary or customarily incidental to a principal use.

C. Uses Subject to a Conditional Use Permit:

- (1) Family day care centers
- (2) Keeping more than two weaned dogs or cats
- (3) Parochial or private schools
- (4) Convalescent, retirement, rest homes, sanitariums or similar congregate care facilities
- (5) Private, non-profit clubs
- (6) In-home office
- (7) The outdoor sale of agricultural products

D. Site Development Standards:

- (1) Minimum Site Area: No minimum
- (2) Minimum Site Width: No minimum
- (3) Building Site Coverage: 70% maximum
- (4) Building Setbacks: street frontage yard, 30 foot minimum; No dwelling or other main building shall be closer than 15 feet to any other dwelling or main building.
- (5) Building Height: 40 feet, maximum; for towers, cupolas, and other building elements which have a floor area of less than 250 square feet, 65 feet.
- (6) Landscape: Required for common areas and parking lots.
- (7) Public Open Space: A 100 foot community parkland corridor will be integrated within the MF 18 Area as illustrated Section 5.0, Master Landscape Plan (Special Considerations, MF 18)



6.6.9 Multi-family Residential (MF 22)

The following regulations are applicable for these areas.

A. Uses Permitted:

- (1) Multiple-family dwellings
- (2) Private recreation facilities and buildings
- (3) Open space, parks & trails

B. Accessory Uses Permitted:

- (1) Garages and carports, in compliance with site development standards provided herein
- (2) Fences, walls and trellises
- (3) Swimming pools
- (4) Neighborhood recreational facilities and structures
- (5) Accessory uses and structures necessary or customarily incidental to a principal use

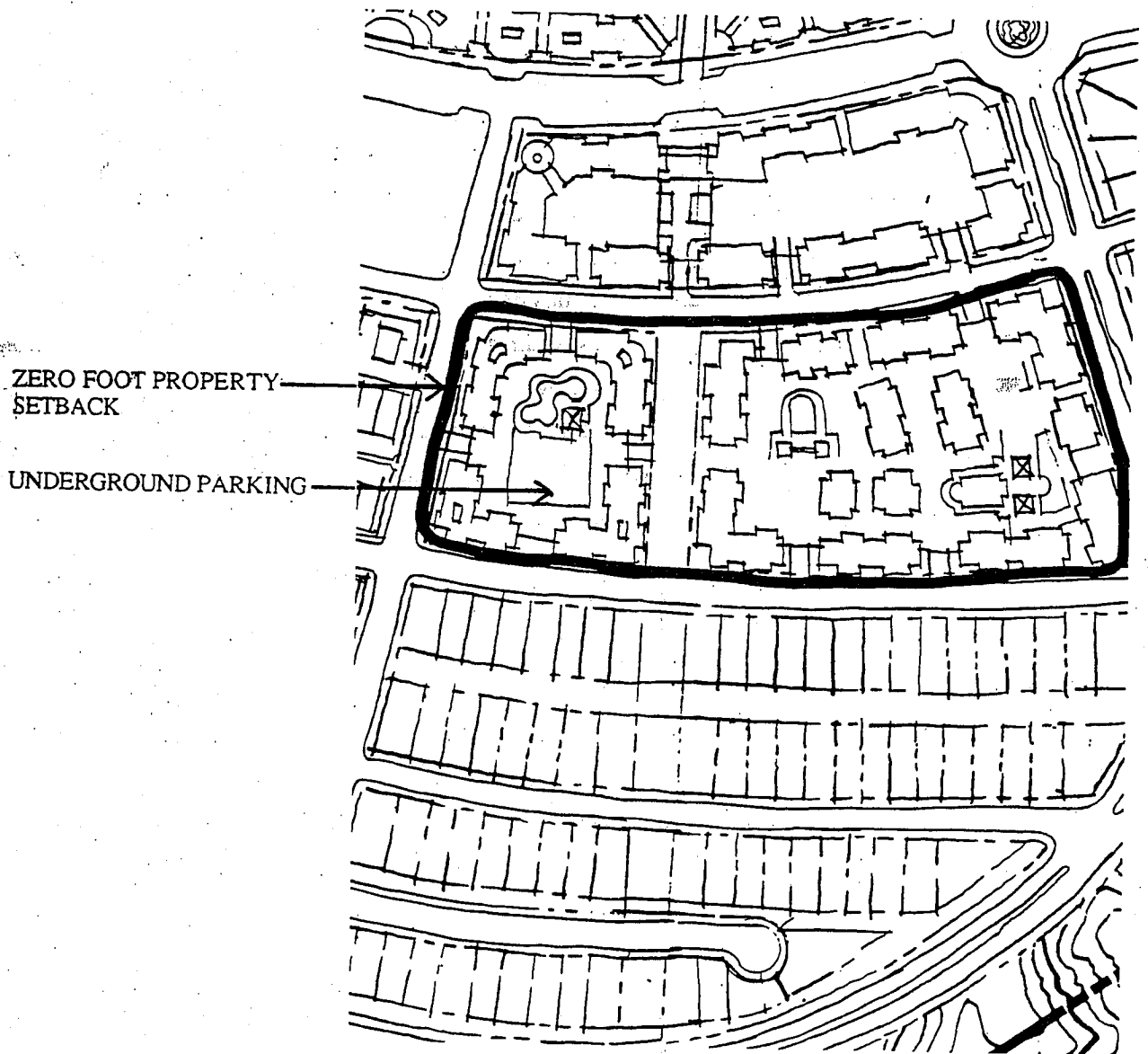
C. Uses Subject to a Conditional Use Permit:

- (1) Family day care homes
- (2) Keeping more than two weaned dogs or cats
- (3) Parochial or private schools
- (4) Convalescent, retirement, rest homes, sanitariums or similar congregate care facilities
- (5) Private, non-profit clubs

D. Site Development Standards:

- (1) Minimum Site Area: No minimum
- (2) Minimum Site Width: No minimum
- (3) Building Site Coverage: 70% maximum
- (4) Building Setbacks: street frontage yard in Central District, 20 feet, in Town Center District, zero feet; No dwelling or other main building

- shall be closer than 15 feet to any other dwelling or main building.
- (5) Building Height: 40 feet, maximum; for towers, cupolas, and other building elements which have a floor area of less than 250 square feet, 65 feet.
 - (6) Landscape: Required for common areas and parking lots.



6.6.10 Multi-family Residential (MF 40)

The following regulations are applicable for these areas.

A. Uses Permitted:

- (1) Multiple-family dwellings
- (2) Private recreation facilities and buildings
- (3) Open space, parks & trails

B. Accessory Uses Permitted:

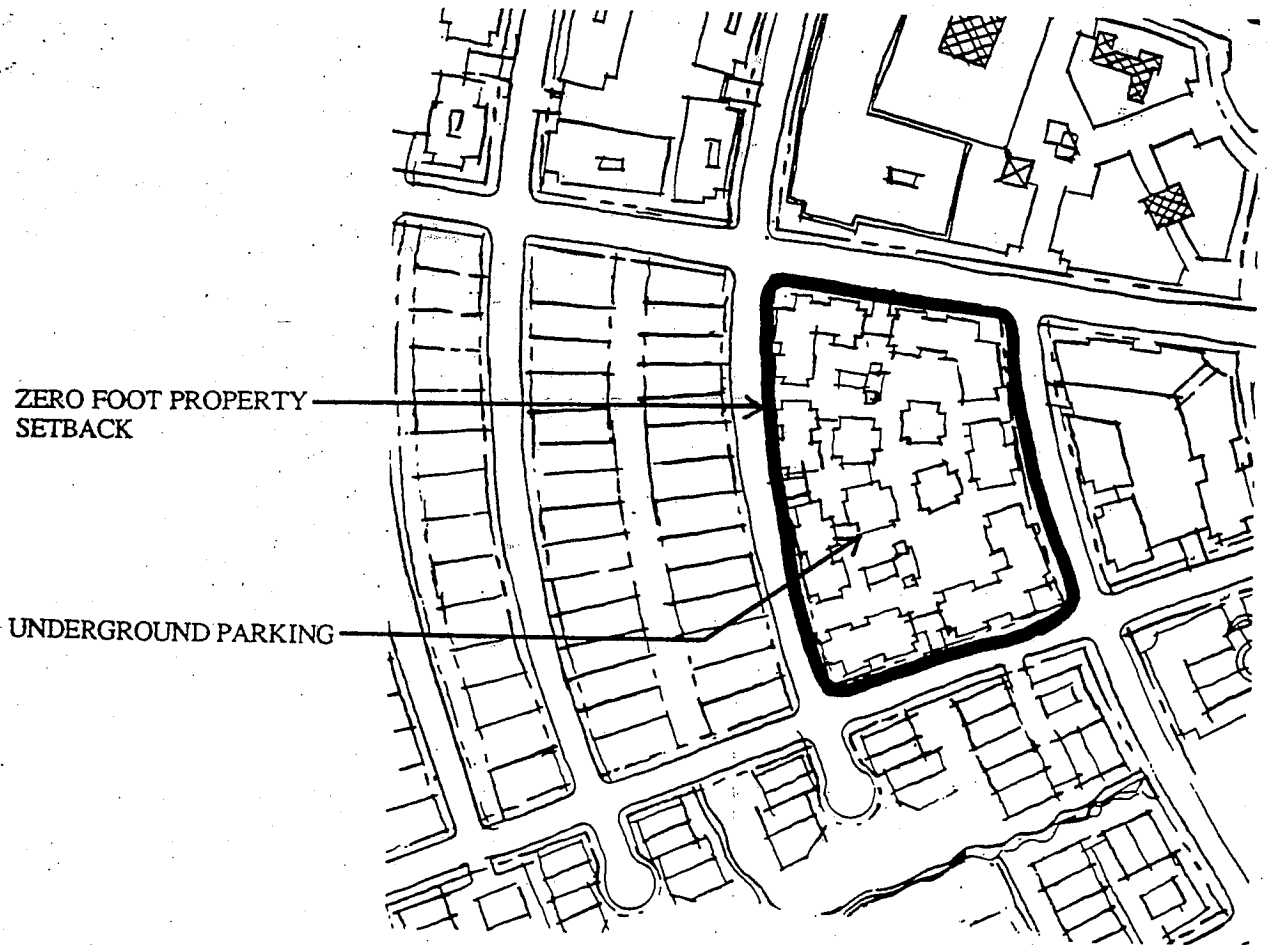
- (1) Garages and carports, in compliance with site development standards provided herein
- (2) Parking structures in compliance with the development standards and guidelines of this Plan
- (3) Fences, walls and trellises
- (4) Swimming pools
- (5) Neighborhood recreational facilities and structures
- (6) Accessory uses and structures necessary or customarily incidental to a principal use

C. Uses Subject to a Conditional Use Permit:

- (1) Family day care homes
- (2) Keeping more than two weaned dogs or cats
- (3) Parochial or private schools
- (4) Convalescent, retirement, rest homes, sanitariums or similar congregate care facilities
- (5) Private, non-profit clubs
- (6) Restaurant/pro-shop/clubhouse in association with recreational facility

D. Site Development Standards:

- (1) Minimum Site Area: No minimum
- (2) Minimum Site Width: No minimum
- (3) Building Site Coverage: 80% maximum
- (4) Building Setbacks: street frontage yard, zero foot minimum in Town Center District, 20 feet minimum in Soledad District; rear yard, 20 feet. No dwelling or other main building shall be closer than 20 feet to any other dwelling or main building.
- (5) Building Height: a 60 feet, maximum; for towers, cupolas, and other building elements which have a floor area of less than 300 square feet, 75 feet.
- (6) Landscape: Required for common areas and parking lots.

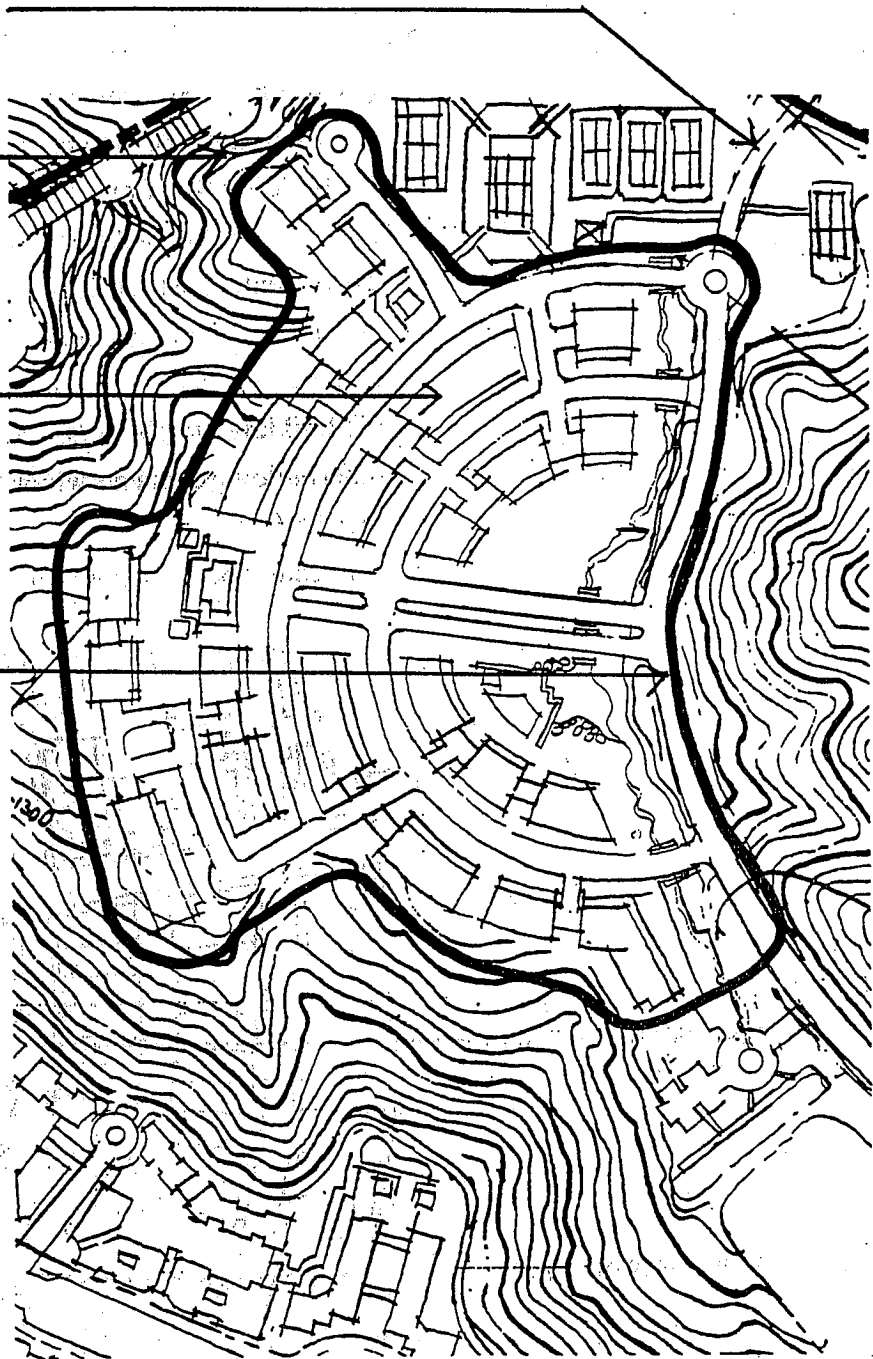


PEDESTRIAN UNDERPASS TO
COMMUTOR STATION AND
COMMERCIAL/OFFICE

ACCESS TO ESCALATOR
SYSTEM

UNDERGROUND PARKING

LANDSCAPED STREET
SETBACK 20' MIN.



6.6.11 Town Center Mixed-use (TC)

The Town Center is a mixed use land use area, which includes a residential component. The residential development standards for these uses are located within the Town Center Development Standards.